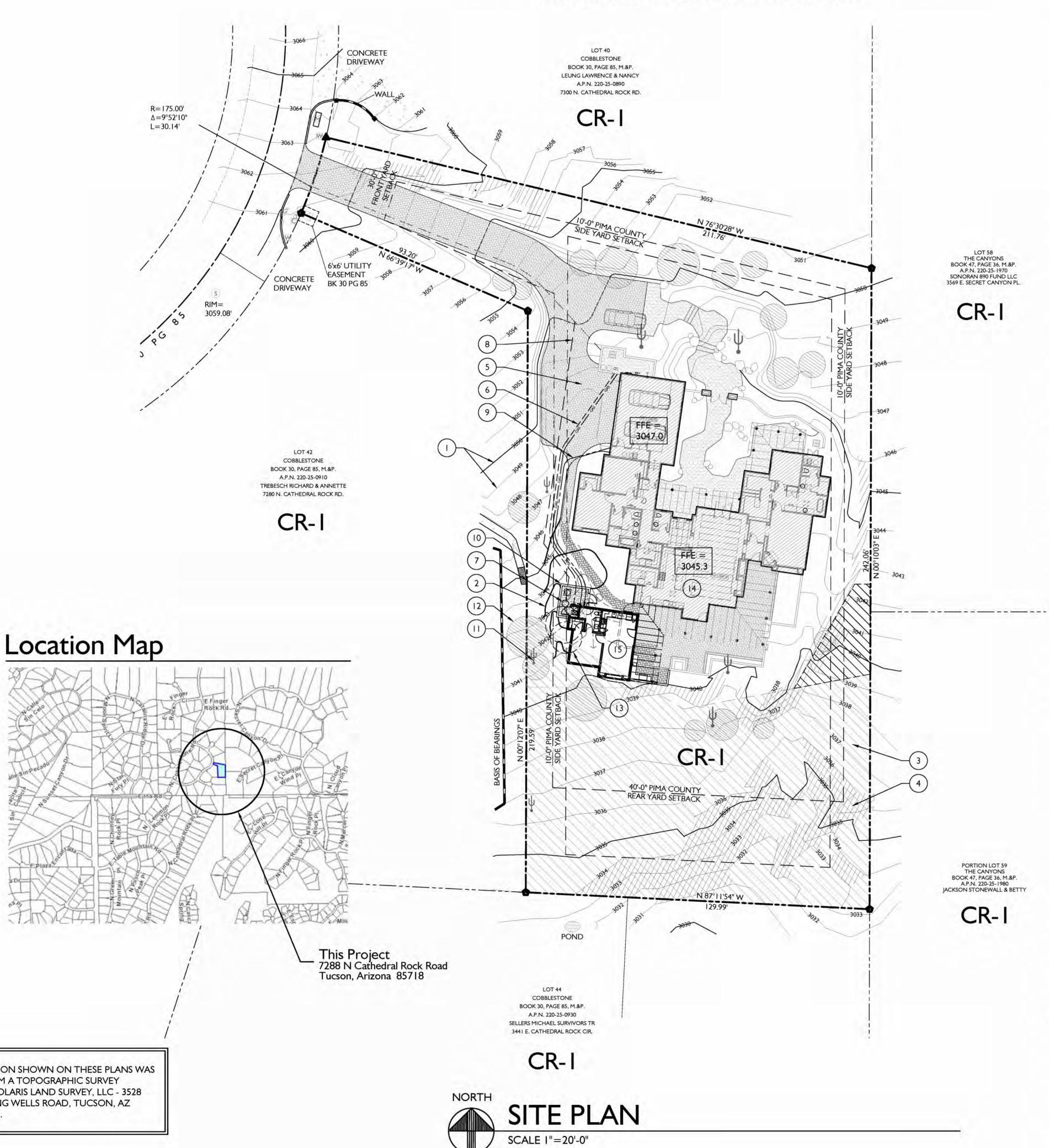
7288 North Cathedral Rock Road Tucson, Arizona 85718



SITE INFORMATION SHOWN ON THESE PLANS WAS **OBTAINED FROM A TOPOGRAPHIC SURVEY** PROVIDED BY POLARIS LAND SURVEY, LLC - 3528 NORTH FLOWING WELLS ROAD, TUCSON, AZ 85705 (322-6400).

THESE DOCUMENTS ESTABLISH THE GENERAL STANDARDS OF QUALITY AND DETAIL FOR DEVELOPING A NEGOTIATED CONSTRUCTION

General Project Notes

- ALL CONSTRUCTION SHALL CONFORM TO CURRENT INTERNATIONAL CODE EDITION(S) AS ADOPTED BY ITS RESPECTIVE LOCALITY INCLUDING ALL AMENDMENTS FOR ALL AGENCIES HAVING JURISDICTION. CONFORM TO INDUSTRIAL COMMISSION OF ARIZONA 'GENERAL CONSTRUCTION SAFETY CODE' AND OSHA REQUIREMENTS. POLICE ALL SUB-CONTRACTORS TO COMPLY WITH THESE REGULATIONS
- CARE SHOULD BE TAKEN TO PROTECT AND PRESERVE ANY EXISTING TREES AND SHRUBS THAT ARE ON SITE BUT NOT IN BUILDING AREA DURING SITE GRADING AND THROUGHOUT THE CONSTRUCTION PROCESS CONTRACTOR SHALL VISIT THE SITE, VERIFY ALL CONDITIONS AND BRING ANY
- DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE
- OVER SCALED DIMENSIONS. LARGE SCALE DETAILS GOVERN OVER SMALL 5. DETAILS ARE USUALLY KEYED ONCE ON THE PLANS AND ARE TYPICAL FOR
- SIMILAR CONDITIONS THROUGHOUT UNLESS NOTED OTHERWISE 6. CONTRACTOR SHALL COORDINATE AND SCHEDULE WORK TO ALLOW UNINTERRUPTED PROCESS OF ALL CONSTRUCTION TO BE COMPLETED WITHIN THE ESTABLISHED SCHEDULE. SCHEDULE AND COORDINATE ALL DELIVERY DATES FOR ANY LONG LEAD ITEMS AND MATERIALS TO ENSURE THEIR INSTALLATION IN THE PROPER SEQUENCE OF THE JOB.
- ALL PERMIT COSTS TO BE PAID BY OWNER / CONTRACTOR. PROVIDE MINIMUM TWO (2) YEAR GUARANTEE FOR MATERIALS AND
- 9. CONTRACTOR SHALL MAINTAIN A CLEAN AND ORDERLY WORK AREA AT ALL TIMES AND SHALL CLEAN ALL AREAS AFFECTED BY DAILY WORK. REMOVE DEBRIS AND MATERIALS FROM SITE UPON COMPLETION OF WORK.
- 10. DO NOT USE PAINT, PRIMERS, SEALERS, OR GLUES THAT EMIT FLAMMABLE, TOXIC, OR NOXIOUS FUMES. EACH TRADE SHALL BE RESPONSIBLE TO VERIFY THE MATERIALS USED AND COMPLIANCE WITH MANUFACTURER'S WRITTEN INSTRUCTIONS FOR THEIR USE
- 11. CONTRACTOR SHALL INCLUDE KEYING OF LOCKS ON NEW DOORS AND PROVIDE MINIMUM TWO (2) KEYS PER EACH NEW LOCK TYPE INCLUDING A
- 12. APPLY SOIL STERILIZER TO THE LIMITS OF ANY NEW PAVED AREA. TAKE CARE NOT TO CONTAMINATE AREAS DEFINED AS PLANTERS.
- 13. THE WORD 'ALIGN' AS USED IN THESE DOCUMENTS SUPERCEDES ANY DIMENSIONAL INFORMATION INDICATED. IF DISCREPANCIES OCCUR, NOTIFY ARCHITECT IMMEDIATELY
- 14. THE WORD 'MAXIMUM' AS USED IN THESE DOCUMENTS SHALL MEAN THE CONDITION IS SLIGHTLY ADJUSTABLE BUT MAY NOT VARY TO A DIMENSION OR QUANTITY GREATER THAN THAT SHOWN WITHOUT APPROVAL OF THE ARCHITECT.
- THE WORD 'MINIMUM' AS USED IN THESE DOCUMENTS SHALL MEAN THE CONDITION IS SLIGHTLY ADJUSTABLE BUT MAY NOT VARY TO A DIMENSION OR QUANTITY LESS THAN THAT SHOWN WITHOUT APPROVAL OF THE
- 16. THE WORD 'TYPICAL' AS USED IN THESE DOCUMENTS SHALL MEAN THE CONDITION OR DIMENSION IS THE SAME OR REPRESENTATIVE FOR SIMILAR CONDITIONS THROUGHOUT.
- 17. ALL BLOCKING TO COMPLY WITH APPLICABLE BUILDING AND FIRE CODE REQUIREMENTS. PROVIDE BLOCKING IN PARTITIONS AS REQUIRED TO SECURE CABINETS, SPECIAL EQUIPMENT AND OTHER ITEMS.
- 18. ALL MATERIALS AND COMPONENTS OF FIRE-RATED ASSEMBLIES SHALL BE APPROVED BY U.L. OR OTHER RECOGNIZED STANDARD FOR USE IN SUCH

Site Plan Notes

- CONTRACTOR SHALL VERIFY EXACT LOCATION OF ALL UTILITY STUBS PRIOR TO CONSTRUCTION AND EXCAVATION TO ASSURE AVAILABILITY OF UTILITY SERVICES. CALL BLUE STAKE PRIOR TO EXCAVATION
- 2. CONTRACTOR SHALL VERIFY EXACT LOCATION OF RESIDENCE AT SITE WITH
- MAJOR VEGETATION AND SAGUAROS SHALL BE PROTECTED FROM DAMAGE DURING CONSTRUCTION OR SHALL BE REMOVED AND / OR RELOCATED. 4. DRAINAGE FROM DRIVEWAY SHALL NOT IMPACT ADJACENT LOTS OR
- THE LOT OWNER SHALL BE RESPONSIBLE FOR ANY CLEAN-UP OR RECONSTRUCTION OF COMMON AREA OR ADJACENT LOTS DUE TO DRAINAGE RUN OFF DURING CONSTRUCTION OR WHEN HOME IS
- G.C. SHALL PATCH AND REPAIR EXISTING CONSTRUCTION DAMAGED BY THIS WORK AND AS REQUIRED TO MATCH EXISTING UNDAMAGED CONDITIONS.

Site Plan Keynotes

- EXISTING CONTOUR LINES.
- NEW / MODIFIED CONTOUR LINES AS SHOWN. HATCHED AREA INDICATES NPPO 30% SET-ASIDE BOUNDARY.
- HATCHED AREA INDICATES 15% SLOPED AREAS.
- EXISTING CONCRETE / PAVER ENTRY DRIVE AND GUEST PARKING REMOVE AND RESET AS REQUIRED BY NEW UTILITY WORK. GAS AND ELECTRIC SERVICE LINES IN COMMON TRENCH AS POSSIBLE
- TO CONNECT TO EXISTING HOUSE SERVICE ENTRANCES. VERIFY LOCATIONS / REQUIREMENTS. SEWER EJECTOR LOCATION, SEE PLUMBING PLAN FOR ADDITIONAL
- SEWER LINE TO CONNECT TO EXISTING LINE OUT TO STREET. VERIFY LOCATION / REQUIREMENTS.
- WATER LINE TO CONNECT TO EXISTING HOUSE SERVICE LINE AT
- WATER SOFTENER / FILTER SYSTEM. VERIFY LOCATION / REQUIREMENTS. NEW MECHANICAL / UTILITY YARD ENCLOSURE PER PLAN. SEE
- ENLARGED SITE PLAN FOR ADDITIONAL INFORMATION.
- 11. EXISTING SAGUARO TO REMAIN TYP. 12. EXISTING VEGETATION TO REMAIN TYP UNO.
- DASHED LINE INDICATES EXISTING VEGETATION TO BE REMOVED. SEE
- ENLARGED SITE PLAN FOR ADDITIONAL INFORMATION. EXISTING RESIDENCE TO REMAIN.
- 15. NEW GUEST HOUSE ADDITION PER PLAN.

Native Plant Inventory

HATCHED AREA INDICATES NPPO 30% SET-ASIDE AREA / METHOD PER18.72.030.A.3. (10,880.0 SF PER P17BP06146)

HATCHED AREA INDICATES AREA REMOVED FROM SET-ASIDE (591.6 SF)

HATCHED AREA INDICATES AREA ADDED TO SET-ASIDE (607.9 SF)

ALL SAGUAROS ARE TO BE PRESERVED IN PLACE / NO IRONWOODS ARE LOCATED WITHIN THE DISTURBED AREA / GRADING LIMITS - NO OTHER MATERIAL IS REQUIRED TO BE INVENTORIED PER 18.72.100.A.3.

LOT AREA (0.83 ACRES) = 36208.8 SF SET-ASIDE AREA REQUIRED = 10,862.6 SF

SET-ASIDE AREA PROVIDED = 10,880.0 SF 10,896.3 SF (REVISED)

Scope of Work

PROPOSED NEW GUEST HOUSE, REAR PORCH EXTENSION, AND ALL ASSOCIATED IMPROVEMENTS AS INDICATED IN THIS DOCUMENT.

Code Information

PIMA COUNTY CODES IN EFFECT 1 JANUARY 2019 ALL WORK IS TO CONFORM WITH THE FOLLOWING CODES AS ADOPTED AND / OR AMENDED BY THE LOCAL GOVERNING AUTHORITIES.

2018 INTERNATIONAL BUILDING CODE AND AMENDMENTS

2018 INTERNATIONAL RESIDENTIAL CODE AND AMENDMENTS 2018 INTERNATIONAL ENERGY CONSERVATION CODE AND AMENDMENTS 2018 INTERNATIONAL MECHANICAL CODE AND AMENDMENTS 2018 INTERNATIONAL PLUMBING CODE AND AMENDMENTS 2018 INTERNATIONAL FUEL GAS CODE AND AMENDMENTS 2018 INTERNATIONAL EXISTING BUILDING CODE AND AMENDMENTS 2018 INTERNATIONAL PROPERTY MAINTENANCE CODE AND AMENDMENTS 2018 INTERNATIONAL WILDLAND-URBAN INTERFACE CODE AND AMENDMENTS 2017 NATIONAL ELECTRICAL CODE AND AMENDMENTS 2012 COT / PIMA COUNTY OUTDOOR LIGHTING CODE PIMA COUNTY INCLUSIVE HOME DESIGN ORDINANCE

Zoning Information

LEGAL DESCRIPTION: COBBLESTONE LOT 41 PARCEL 220-25-0900

PIMA COUNTY ZONING CODE (TITLE 18)

ZONING: CR-I (PIMA COUNTY) SETBACKS:

FRONT YARD

Contacts

ARCHITECT 711 EAST 9TH STREET TUCSON, ARIZONA 85719 CONTACT BEN COLE

PHONE 520.850.9012 BEN@A23STUDIOS.COM

JANELLE PERRY STRUCTURAL, LLC 8460 EAST BROOKHILL DRIVE TUCSON, ARIZONA 85750 CONTACT JANELLE PERRY 520.429.7080 520.733.5972

JANELLE@JPSTRUCTURAL.COM TIM & JANE GARIGAN 7288 NORTH CATHEDRAL ROCK ROAD

TUCSON, ARIZONA 85718

Square Footage Calculation

E	EXISTING	CHANGE	REVISED	
XISTING LIVING AREA	3,388 SF			
GUEST HOUSE ADDITION		570 SF		
TOTALS		570 SF	3,958 SF	
XISTING PORCHES	1,470 SF			
EXPANDED REAR PORCH		167 SF		
TOTALS		167 SF	1,637 SF	
XISTING GARAGE / STORAGE / MECHANICAL	842 SF			
GUEST HOUSE MECHANICAL		17 SF		
TOTALS		17 SF	859 SF	

Sheet Index

TOTAL REVISED UNDER ROOF

A1.0 SITE PLAN / COVER SHEET ENLARGED SITE PLAN DEMOLITION PLAN

REFERENCE FLOOR PLAN, SHEAR WALL SCHEDULE DIMENSIONED FLOOR PLAN

KEYNOTED FLOOR PLAN REFLECTED CEILING PLAN

ROOF PLAN A5.0 EXTERIOR ELEVATIONS,

DOOR & WINDOW ELEVATIONS A6.0 BUILDING SECTIONS

A7.0 ENLARGED PLANS & INTERIOR ELEVATIONS

GENERAL STRUCTURAL NOTES SI.0 FOUNDATION PLAN

FOUNDATION DETAILS FRAMING PLAN S4.0 FRAMING DETAILS

MI.0 MECHANICAL PLAN, NOTES & SCHEDULES

PI.0 PLUMBING NOTES, SCHEDULES & CALCULATIONS P2.0 PLUMBING PLAN **ELECTRICAL NOTES, SCHEDULES & CALCULATIONS**

E2.0 ELECTRICAL PLAN



6,454 SF

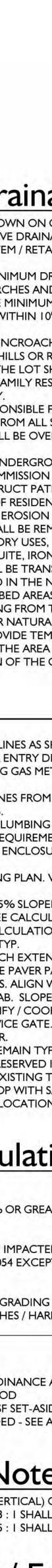


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1.30.25 Date

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Grading & Drainage Notes SITE SHALL BE GRADED AS SHOWN ON GRADING / SITE PLAN.

4. EARTHEN SURFACES: PROVIDE MINIMUM LONGITUDINAL DRAINAGE SLOPE OF 2% AT ALL PLANTING AREAS WITHIN 10' PERPENDICULAR TO STRUCTURE (1%

5. CUTS AND FILLS SHALL NOT ENCROACH INTO ANY FLOODPLAIN OR BE DISPOSED OF OVER SIDES OF HILLS OR RIDGES.

6. ALL SLOPE TREATMENT FOR THE LOT SHALL BE COMPLETED PRIOR TO FINAL INSPECTION OF THE SINGLE FAMILY RESIDENCE AND THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY.

DRAINAGE OF WATER AWAY FROM ALL STRUCTURES.

8. STORM WATER DISPOSAL SHALL BE OVERLAND AND SHALL MAINTAIN EXISTING DRAINAGE PATTERNS.

9. UTILITIES SHALL BE PLACED UNDERGROUND IN CONFORMANCE WITH

10. CONTRACTOR SHALL CONSTRUCT PATIO WALLS / SITE RETAINING WALLS PRIOR TO CONSTRUCTION OF RESIDENCE FOUNDATION IN ORDER TO UTILIZE RETAINING WALLS AS EROSION PROTECTION BARRIER.

BUILDING PADS AND ACCESSORY USES, ROADS, AND DRIVEWAYS. ALL HEALTHY PALO VERDE, MESQUITE, IRONWOOD, SAGUAROS AND BARREL CACTI TO BE REMOVED SHALL BE TRANSPLANTED FOR ON-SITE LANDSCAPING OR AS OTHERWISE INDICATED IN THE NPPO PLANS

CUT OR FILL SLOPES RESULTING FROM THE CONSTRUCTION ON THIS LOT, SHALL BE RESTORED TO THEIR NATURAL STATE BY UTILIZING DROUGHT-RESISTANT VEGETATION. PROVIDE TEMPORARY CONSTRUCTION FENCING AROUND THE PERIMETER OF THE AREA TO BE GRADED THAT SHALL REMAIN IN-PLACE FOR THE DURATION OF THE CONSTRUCTION PERIOD.

EXISTING CONTOUR LINES.

NEW / MODIFIED CONTOUR LINES AS SHOWN.

4. NEW GAS LINE FROM EXISTING GAS METER. VERIFY LOCATIONS /

LOCATIONS / REQUIREMENTS.

6. NEW WATER LINE / SOV PER PLUMBING PLAN FROM EXISTING SOFT WATER LOOP. VERIFY LOCATIONS / REQUIREMENTS.

7. MECHANICAL / UTILITY YARD ENCLOSURE WALL W/ STUCCO FINISH PER PLAN.

8. SEWER EJECTOR PER PLUMBING PLAN. VERIFY LOCATION AND COORDINATE ALL REQUIREMENTS.

10. REMOVED SET-ASIDE AREA. SEE CALCULATIONS ON SHEET A1.0.

14. NEW PORTION OF CONCRETE PAVER PATIO / WALKWAY PER OWNER. SEE FOUNDATION PLAN / DETAILS. ALIGN WITH EXISTING WHERE OCCURS. 15. CONCRETE SERVICE YARD SLAB. SLOPE TOWARD GATE OPENING OR BLOCK

OUT IN WALL TO DRAIN. VERIFY / COORDINATE REQUIREMENTS.

19. EXISTING SAGUARO TO BE PRESERVED IN PLACE (PIP) TYP.

20. DASHED CIRCLE INDICATES EXISTING TREE / VEGETATION TO BE REMOVED. 21. NEW BBQ BASE / COUNTERTOP WITH SALVAGED BBQ AND SINK. EXTEND EXISTING UTILITIES TO NEW LOCATIONS PER PLAN.

Grading Calculations

LOT SIZE (0.83 ACRES)

36,208.8 SF

13,915 SF

18,548 SF

PARCEL CONTAINS SLOPES OF 15% OR GREATER AND IS SUBJECT TO HILLSIDE DEVELOPMENT OVERLAY ZONE.

NO / INCIDENTAL 15% SLOPES ARE IMPACTED / SEE HATCHED AREAS -

GRADING TOTALS EXISTING DRIVE / GARAGE ACCESS GRADING

EXISTING HOUSE / GARAGE / PORCHES / HARDSCAPE GRADING NEW GUEST HOUSE GRADING TOTAL REVISED GRADED AREA

NATIVE PLANT PRESERVATION ORDINANCE APPLIES (18.72.050.A.I) COMPLIANCE VIA SET-ASIDE METHOD 36,208.8 SF * 30% = 10,862.6 SF SET-ASIDE REQUIRED

10,896.3 SF SET-ASIDE PROVIDED - SEE AREA DESIGNATED SHEET A1.0

Cut and Fill Notes

- B. SLOPES BETWEEN 1.5: I AND 3: I SHALL BE HAND PLACED RIP-RAP.
- C. SLOPES BETWEEN I: I AND 1.5: I SHALL BE GROUTED RIP-RAP

Geotechnical / Excavation

- A. ALL SOILS COMPACTION WORK SHALL BE IN STRICT COMPLIANCE WITH REQUIREMENTS OF THE PROJECT GEOTECHNICAL REPORT (SOILS TEST).
- ENGINEERED FILL PER PROJECT GEOTECHNICAL REPORT. C. ALL EXCAVATION WORK SHALL BE INSPECTED AND CERTIFIED BY PROJECT
- D. CONTRACTOR SHALL SURVEY SLAB AFTER PLACEMENT TO KEEP AS-BUILT RECORD OF ELEVATION OF SLAB AND ALL MAJOR CORNERS OF THE SLAB.

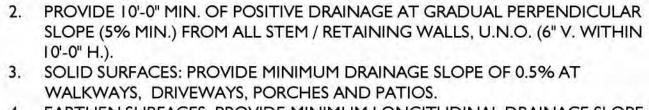


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AT AREAS OUTSIDE 10').

7. CONTRACTOR SHALL BE RESPONSIBLE FOR ASSURING PROPER AND ADEQUATE

ARIZONA CORPORATION COMMISSION AMENDED GENERAL ORDER U-48.

11. ONLY THAT VEGETATION SHALL BE REMOVED WHICH IS NECESSARY FOR

12. ALL UNIMPROVED OR DISTURBED AREAS, INCLUDING UTILITY TRENCHES AND

Keynotes

EXISTING CONCRETE / PAVER ENTRY DRIVE / GUEST PARKING.

NEW ELECTRIC AND DATA LINES FROM EXISTING SERVICE ENTRANCES. VERIFY

SEE PLAN / DETAILS.

HATCHED AREA INDICATES 15% SLOPED AREAS.

11. NEW SET-ASIDE AREA. SEE CALCULATIONS ON SHEET A1.0 12. EXISTING COVERED PORCH, TYP. 13. NEW COVERED PORCH / PORCH EXTENSION. SEE FRAMING PLAN.

CUSTOM WOOD / STEEL SERVICE GATE.

17. LANDSCAPE AREA PER OWNER. 18. EXISTING VEGETATION TO REMAIN TYP UNO.

NO GRADING LIMITS APPLY (18.61.054 EXCEPTIONS B.1 / B.2)

GRADED AREA > 14,000 SF -

A. SLOPES 3: I (HORIZONTAL: VERTICAL) OR LESS SHALL BE REVEGETATED.

- B. ALL FOUNDATIONS SHALL BEAR ON FIRM UNDISTURBED SOIL OR CERTIFIED
- GEOTECHNICAL SOILS ENGINEER PER PROJECT GEOTECHNICAL REPORT.



Demolition Legend

EXISTING FRAME HOUSE WALL TO REMAIN EXISTING MASONRY PATIO WALL TO REMAIN

EXISTING WALL / ITEM TO BE REMOVED

General Demolition Notes

- SAVE ANY / ALL SALVAGEABLE MATERIAL PER OWNER.
- PATCH AND REPAIR ALL EXISTING WORK TO REMAIN WHICH HAS BEEN DAMAGED BY ANY DEMOLITION AND / OR CONSTRUCTION.
- GENERAL CONTRACTOR IS RESPONSIBLE FOR REMOVAL AND DISPOSAL OF ALL TRASH, DEBRIS AND DEMOLISHED MATERIAL.
- REMOVAL OF ITEMS MUST BE IN ACCORDANCE WITH ANY APPLICABLE
- LOCAL AND STATE CODES OR ORDINANCES AS WORK PROGRESSES. VERIFY WITH OWNER AND TRASH REMOVAL AGENCY AN APPROPRIATE
- DUMPSTER LOCATION AND PICK-UP SCHEDULE. LEAVE AREA OF WORK IN CLEAN CONDITION.
- GENERAL CONTRACTOR IS TO COORDINATE ANY SECURITY ISSUES WITH OWNER DURING DEMOTION. H. CONFORM TO APPLICABLE CODES FOR DEMOLITION WORK, SAFETY OF
- ADJACENT STRUCTURES, DUST CONTROL, UTILITY SERVICES AND DISCOVERED HAZARDS.
- CONDUCT OPERATIONS WITH MINIMUM INTERFERENCE WITH PUBLIC / PRIVATE ACCESS. MAINTAIN AND PROTECT EGRESS AND ACCESS AT ALL TIMES. DO NOT
- CLOSE OR OBSTRUCT ROADWAYS, DRIVES OR SIDEWALKS WITHOUT PERMISSION / PERMIT.
- K. COORDINATE WITH OWNER TO NOTIFY THE ADJACENT PROPERTIES OF WORK WHICH MAY AFFECT THEIR PROPERTY OR POTENTIAL NOISE, UTILITY OUTAGE OR DISRUPTION.
- L. ERECT AND MAINTAIN WATERPROOF, AIRTIGHT AND INSULATED CLOSURES OF EXTERIOR OPENINGS.
- M. FIELD VERIFY LOCATIONS AND ALL QUANTITIES OF EQUIPMENT, FIXTURES, ETC. TO BE DEMOLISHED.
- N. DEMOLISH AND REMOVE COMPONENTS IN AN ORDERLY AND CAREFUL
- O. PROVIDE NECESSARY SECURE STORAGE AREA FOR ANY SALVAGED ITEMS DURING CONSTRUCTION PERIOD.

Demolition Keynotes

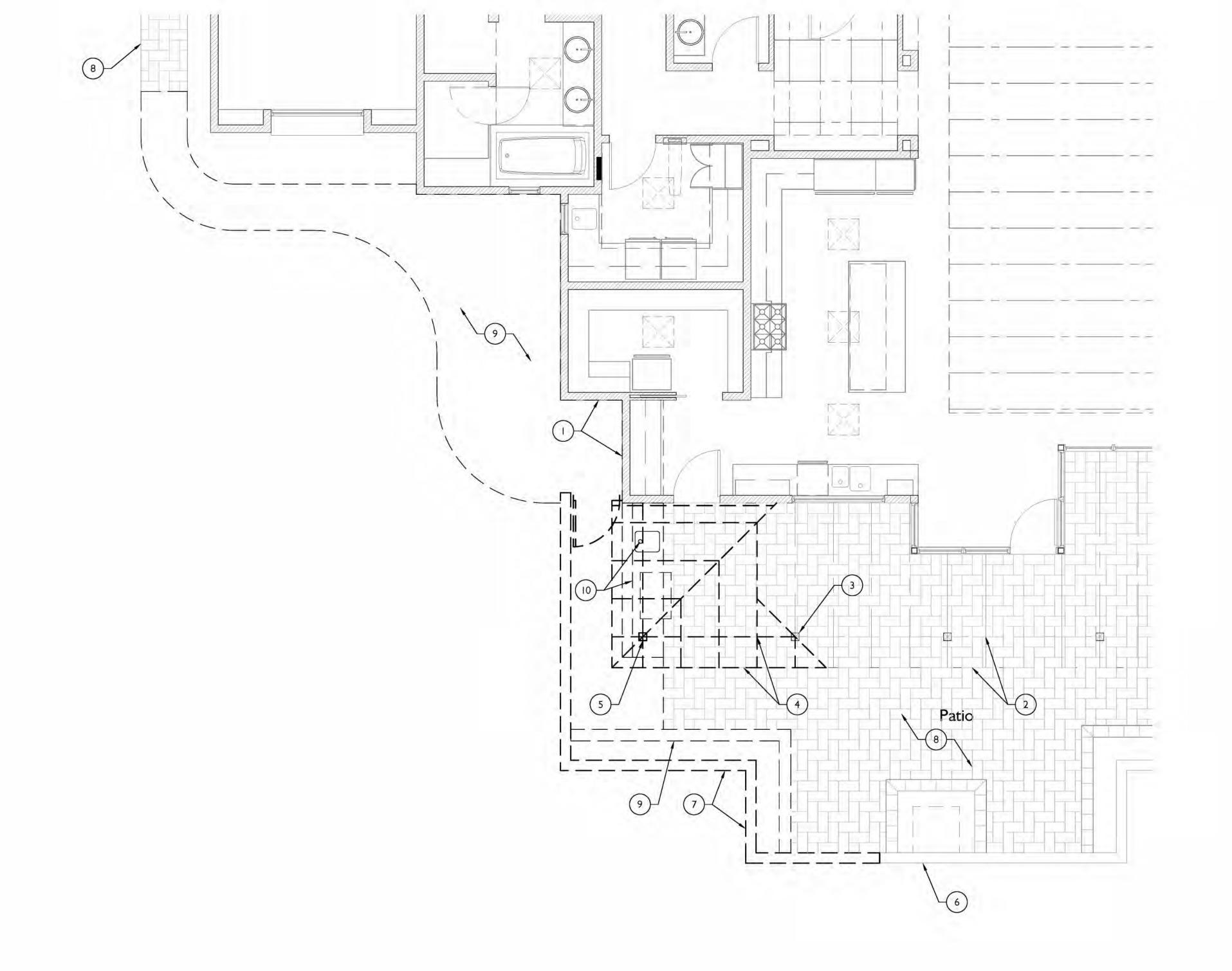


- REQUIRED BY NEW WORK. EXISTING PORTION OF PORCH ROOF AND FRAMING ABOVE TO REMAIN.
- EXISTING PORCH POST TO REMAIN, TYP.
- PORTION OF PORCH ROOF AND FRAMING ABOVE TO BE REMOVED. PREPARE FOR PORCH EXTENSION PER PLAN.
- PORCH POST AND FOOTING TO BE REMOVED.
- EXISTING PATIO / RETAINING WALL TO REMAIN. PORTION OF PATIO / RETAINING WALL TO BE REMOVED. PREPARE FOR
- NEW WORK. 8. EXISTING PAVER PATIO / WALKWAY TO REMAIN, TYP. ADJUST REMAINING
- PORTION AS REQUIRED BY NEW WORK. PORTION OF PAVER PATIO / WALKWAY TO BE REMOVED. SALVAGE PAVERS
- FOR REUSE PER PLAN. 10. BUILT-IN BBQ BASE TO BE REMOVED COMPLETELY. SALVAGE BBQ GRILL AND SINK FOR INSTALLATION IN NEW LOCATION PER OWNER. EXTEND ALL UTILITY CONNECTIONS TO NEW LOCATIONS PER PLAN.

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Floor Plan Wall Legend

MASONRY PATIO WALL

WOOD FRAME WALL

General Floor Plan Notes

- A. ALL WOOD PLATES, INTERIOR AND EXTERIOR, TO BE PRESSURE TREATED OR FOUNDATION REDWOOD.
- ALL STRUCTURAL LUMBER IS TO BE GRADE STAMPED. FOUNDATIONS SUPPORTING WOOD SHALL EXTEND AT LEAST 6" ABOVE
- THE ADJACENT FINISH GRADE. D. ESCAPE OR RESCUE WINDOWS SHALL HAVE A MINIMUM NET CLEAR OPENABLE AREA OF 5.7 SQUARE FEET. (MINIMUM WIDTH = 20" / MINIMUM HEIGHT = 24" / MAXIMUM SILL HEIGHT = 44").
- SAFETY GLAZING REQUIRED FOR ALL WINDOWS WITHIN 24" ARC OF EITHER VERTICAL EDGE OF DOOR.
- FRAME WALLS AT WET AREAS TO HAVE A TAPED, WATERPROOF CONTENTIOUS BACKING OR EQUAL.
- G. INSULATE ALL EXTERIOR WALLS / ROOF AT BOUNDARY HEATED AND COOLED SPACE TYP.
- INSULATE ALL INTERIOR WALLS WITH BATT INSULATION FOR ACOUSTIC CONTROL TYP.
- SMOKE DETECTORS SHALL RECEIVE THEIR PRIMARY POWER FROM THE BUILDING WIRING AND BE EQUIPPED WITH A BATTERY BACKUP. DETECTORS SHALL SOUND AN ALARM AUDIBLE IN ALL SLEEPING AREAS OF THE DWELLING UNIT IN WHICH THEY ARE LOCATED (INTERCONNECTING MAY BE REQUIRED). SEE ELECTRICAL PLAN FOR LOCATIONS.

designs and other information on the drawi

Date

Sheet

Summary - Pima County Inclusive Home Ordinance

BACKGROUND:

IN RESPONSE TO THE NEEDS OF A RAPIDLY GROWING NUMBER OF SENIOR CITIZENS AND PERSONS WITH DISABILITIES, THE PIMA COUNTY BOARD OF SUPERVISORS ADOPTED THE INCLUSIVE HOME DESIGN ORDINANCE. THIS ORDINANCE REQUIRES THAT ALL NEWLY BUILT HOMES OFFER A VERY BASIC LEVEL OF ACCESSIBILITY. REQUIREMENTS OF THIS ORDINANCE, WHICH ARE SUMMARIZED BELOW, ARE A MINIMUM STANDARD. ALTERNATIVE DESIGNS, PRODUCTS, OR TECHNOLOGIES WHICH PROVIDE EQUIVALENT OR SUPERIOR ACCESSIBILITY AND USABILITY, MAY BE USED. THIS ORDINANCE DOES NOT REQUIRE EXISTING HOMES TO BE RETROFITTED.

APPLICATION:

THIS ORDINANCE APPLIES TO ALL DWELLING UNITS (SITE-BUILT HOMES) CONSTRUCTED IN UNINCORPORATED PIMA COUNTY AFTER OCTOBER 8TH, 2002. DWELLING UNITS FOR WHICH PLANS HAVE ALREADY BEEN CERTIFIED PRIOR TO OCTOBER 8TH, 2002 SHALL BE EXEMPT FROM ITS PROVISIONS UNTIL THE DATE OF THEIR NEXT ANNUAL RENEWAL. THESE ARE DETACHED ONE, TWO AND THREE-FAMILY HOMES WHICH HAVE ONE OCCUPIABLE FLOOR AT GRADE LEVEL.

ACCESSIBLE FLOOR:

THIS IS ANY OCCUPIABLE FLOOR WHICH IS LESS THAN ONE STORY ABOVE OR BELOW GRADE, WITH DIRECT ACCESS TO GRADE.

EXTERIOR ACCESSIBLE ROUTE: THERE SHALL BE AT LEAST ONE EXTERIOR ACCESSIBLE ROUTE TO THE ACCESSIBLE ENTRANCE. THIS ROUTE MAY ORIGINATE FROM THE CARPORT, DRIVEWAY, OR PUBLIC STREET OR SIDEWALK. THE SLOPE OF THIS ACCESSIBLE ROUTE TO THE ACCESSIBLE ENTRANCE SHALL NOT EXCEED ONE FOOT VERTICAL RISE PER TWENTY FEET HORIZONTAL DISTANCE (1:20), UNLESS A RAMP IS CONSTRUCTED COMPLYING WITH THE 2006 INTERNATIONAL RESIDENTIAL CODE; (RAMPS MAY HAVE A GRADE OF 1:12).

ACCESSIBLE ENTRANCE:

THERE SHALL BE AT LEAST ONE NO-STEP, ACCESSIBLE ENTRANCE TO THE HOME. THIS ENTRANCE MAY BE AT THE FRONT, BACK, SIDE, GARAGE OR CARPORT OF THE HOME, BUT MAY NOT BE THROUGH A BEDROOM. THE DOOR OF THIS ENTRANCE SHALL BE 32" WIDE MINIMUM AND SHALL MEET THE DOOR HARDWARE REQUIREMENTS DESCRIBED IN THIS PAMPHLET.

INTERIOR ACCESSIBLE ROUTE:

AT LEAST ONE ACCESSIBLE ROUTE SHALL CONNECT ALL SPACES AND ELEMENTS WHICH ARE A PART OF THE ACCESSIBLE FLOOR OF THE HOME. EXCEPTIONS TO THE INTERIOR ACCESSIBLE ROUTE PROVISION INCLUDE A RAISED OR SUNKEN PORTION OF A LIVING, DINING OR SLEEPING ROOM. THIS ROUTE SHALL NOT PASS THROUGH BATHROOMS, CLOSETS, OR SIMILAR SPACES. AS PER EXISTING CODE, THIS ROUTE IS REQUIRED TO BE 36" WIDE MINIMUM.

THRESHOLDS AT THE ACCESSIBLE ENTRANCE AND ALONG ACCESSIBLE ROUTES MAY BE 1/2 INCH HIGH MAXIMUM. CHANGES IN LEVEL WHICH EXCEED 1/4 INCH HIGH, SHALL BE BEVELED, WITH A SLOPE NOT STEEPER THAN ONE INCH RISE TO 2 INCH RUN (1:2).

INTERIOR DOORS:

DOORWAYS ON THE ACCESSIBLE ROUT E SHALL HAVE A CLEAR OPENING OF 30 INCHES WIDE MINIMUM. A 32" (2' 8") WIDE DOOR SATISFIES THESE REQUIREMENTS. THIS DOOR SHALL CONTAIN HARDWARE MEETING THE DOOR HARDWARE REQUIREMENTS DESCRIBED IN THIS PAMPHLET.

DOOR HARDWARE:

HANDLES, PULLS, LATCHES, LOCKS, AND OTHER OPERABLE PARTS ON ACCESSIBLE DOORS SHALL HAVE A SHAPE THAT IS EASY TO GRASP WITH ONE HAND AND THAT DOES NOT REQUIRE TIGHT GRASPING, PINCHING, OR TWISTING OF THE WRIST TO OPERATE. LEVER HARDWARE SATISFIES THE REQUIREMENTS OF THIS PROVISION.

BATHROOM WALL REINFORCEMENT:

IN BATHROOMS ON THE ACCESSIBLE ROUTE, REINFORCEMENT SHALL BE INSTALLED TO ALLOW THE FUTURE INSTALLATION OF GRAB BARS ON WALLS ADJACENT TO THE TUB AND TOILET. IN ADDITION, REINFORCEMENT SHALL BE INSTALLED IN SHOWER COMPARTMENTS FOR FUTURE INSTALLATION OF GRAB BARS. THIS REINFORCEMENT SHALL BE INSTALLED FLUSH WITH THE STUDS AND AT THE **FOLLOWING LOCATIONS:**

TOILET: 33"-36" ABOVE THE FLOOR ON ALL ADJACENT WALLS. HORIZONTAL LENGTH OF REINFORCEMENT SHALL BE SUFFICIENT TO ALLOW A 42" GRAB BAR AND 24" REAR GRAB BAR. NOTE: NOTHING IN THE ORDINANCE REQUIRES THAT THE TOILET BE PLACED BY A SIDE WALL.

TUB: HORIZONTAL LENGTH REINFORCEMENT SHALL BE SUFFICIENT TO ALLOW FOR A) BACK WALL: TWO BACKING REINFORCEMENTS, ONE BACKING REINFORCEMENT HORIZONTAL POSITION 33" MINIMUM AND 36" MAXIMUM ABOVE THE FLOOR, AND ONE BACKING REINFORCEMENT 9" ABOVE THE RIM OF THE BATHTUB. EACH BACKING REINFORCEMENT SHALL BE 24" LONG MINIMUM AND SHALL BE 24" MAXIMUM FROM THE HEAD END WALL AND 12"

MAX FROM THE FOOT END WALL B) FOOT END WALL: ONE BACKING REINFORCEMENT 24" LONG MINIMUM ON THE FOOT END

WALL AT THE FRONT EDGE OF THE BATHTUB. C) HEAD END WALL: ONE BACKING REINFORCEMENT 12" LONG MINIMUM ON THE HEAD END WALL AT THE FRONT EDGE OF THE BATHTUB.

D) SHOWER WALLS SHALL HAVE BACKING ON A MINIMUM OF TWO WALLS NOT TO INCLUDE CONTROL VALVE WALL MOUNTED AT 33" - 36" ABOVE SHOWER FLOOR.

ALL WALL REINFORCEMENT SHALL BE CAPABLE OF RESISTING SHEAR AND BENDING FORCES OF A MINIMUM OF 250 POUNDS. REINFORCEMENT IS NOT REQUIRED AT THE LOCATION OF VANITIES, LINEN CLOSETS, AND PRE-MOLDED SHOWER/TUB SURROUNDS, OR IN A ROOM CONTAINING ONLY A SINK AND A TOILET, PROVIDED THAT THE ROOM DOES NOT CONTAIN THE ONLY SINK OR TOILET ON THE ACCESSIBLE FLOOR OF THE HOME.

ELECTRICAL:

· ALL LIGHT CONTROLS SHALL BE PLACED NO HIGHER THAN 48" ON CENTER, ABOVE THE FLOOR. · WHERE PRACTICAL, ALL ELECTRICAL RECEPTACLES SHALL BE PLACED NO LOWER THAN 15" ON CENTER, ABOVE THE FLOOR.

ALL THERMOSTATS SHALL BE PLACED NO HIGHER THAN 54" ON CENTER, ABOVE THE FLOOR.

THE EXCEPTIONS TO THESE PROVISIONS ARE AS FOLLOWS:

I. ELECTRICAL RECEPTACLES SERVING A DEDICATED USE.

2. APPLIANCE MOUNTED CONTROLS OR SWITCHES.

3. A SINGLE OUTLET WHERE ALL THE FOLLOWING CONDITIONS ARE MET: D) THE OUTLET IS ABOVE A LENGTH OF COUNTERTOP THAT IS UNINTERRUPTED BY A SINK OR APPLIANCE; AND

E) AT LEAST ONE RECEPTACLE IS PROVIDED FOR THAT LENGTH OF COUNTERTOP; AND F) ALL OTHER RECEPTACLES PROVIDED FOR THAT LENGTH OF COUNTERTOP SET NO HIGHER THAN 48".

4. FLOOR ELECTRICAL RECEPTACLES.

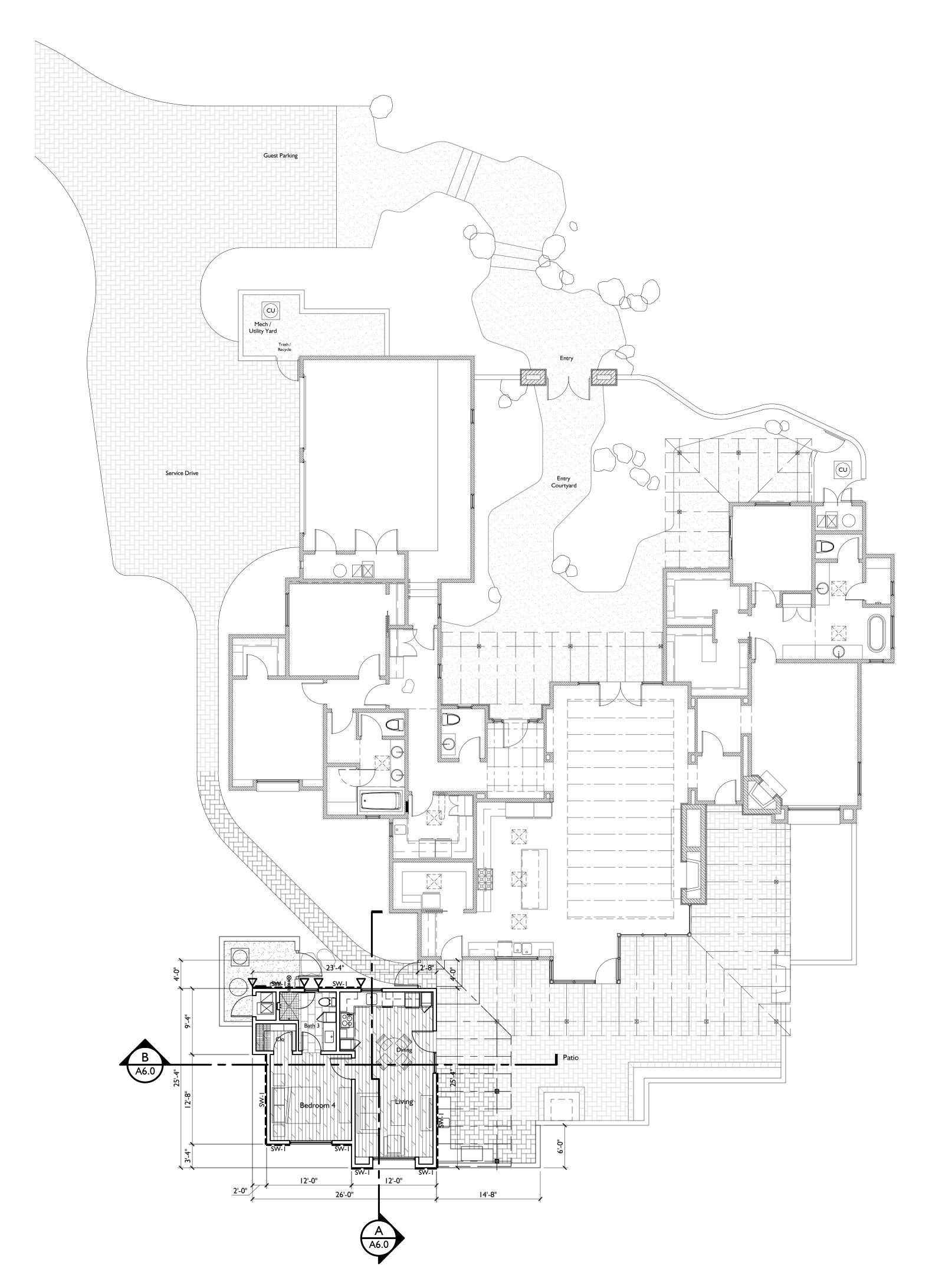
5. PLUMBING FIXTURE CONTROLS.

6. HVAC DIFFUSERS. 7. CEILING FAN MOUNTED CONTROLS.

WAIVER PROVISIONS

UPON A DETERMINATION BY THE BUILDING OFFICIAL THAT BY VIRTUE OF TERRAIN OR OTHER UNUSUAL CHARACTERISTICS OF THE BUILDING SITE, THERE ARE PRACTICAL DIFFICULTIES ASSOCIATED WITH COMPLIANCE OF ANY SPECIFIC PROVISION OF THIS STANDARD, AND THAT THE ADDITIONAL COST TO COMPLY WITH THE APPLICABLE PROVISION OF THIS STANDARD SHALL EXCEED TWO HUNDRED DOLLARS, AS SHOWN BY CLEAR AND CONVINCING EVIDENCE PRESENTED BY THE APPLICANT, THE BUILDING OFFICIAL MAY WAIVE THE REQUIREMENTS OF THAT SPECIFIC PROVISION.

REFERENCE FLOOR PLAN



Shear Wall Schedule

SHEAR WALL (SW) SCHEDULE MATERIALS, ATTACHMENTS AND VALUES PER 2012 IBC

MARK	SIZE	SILL PLATE ATTACHMENT	REMARKS	ALLOW SHEAR PLF* DF / HF	STUDS @ 16" O.C.
SW-I	3/8" APA "CDX" SHEATHING W/ 8d NAILS @ 6" O.C. @ EDGES AND 12" O.C. @ FIELD - BLOCK PLYWOOD EDGES	I/2" AB'S @ 32" O.C OR - 3300X x 3" RAMSET / REDHEAD DRIVE PINS @ 8" O.C.		220 / 189	260 / 322

SHEAR WALL NOTES:

- I. ALL PANEL EDGES SHALL BE BACKED WITH MINIMUM 2 INCH NOMINAL FRAMING AS NOTED ABOVE.
- SHEARWALLS SHOULD HAVE STUDS SPACED NO MORE THAN 16" O.C..
- BLOCKING SHALL BE PROVIDED NEAR MID-HEIGHT OF WALL AT SHEATHING JOINT. SPACING APPLIES TO NAILING AT ALL STUDS TOP AND BOTTOM PLATES, BLOCKING AT
- STRAPS, AND BLOCKING. SEE ARCHITECTURAL DRAWINGS FOR ADDITIONAL (FINISHED SURFACE) WALL COVERINGS NOT NOTED.

INDICATES HTT4 W/ 18 - 16d SINKER NAILS INTO DOUBLE STUD & 5/8" DIA THREADED ROD X 5" EMBED INTO SIMPSON 'SET' ADHESIVE (REQUIRES SPECIAL INSPECTION).





Wall Type Notes

- USE 5/8" MOISTURE RESISTANT GYPSUM BOARD IN ALL WET AREAS.
 USE 1/2" DUROROCK CEMENT BOARD UNDER TILE AS OCCURS.
- 3. PROVIDE FULL DEPTH ACOUSTIC INSULATION IN ALL INTERIOR
- PARTITIONS.

 4. G.C. TO VERIFY ALL DIMENSIONS AND CONDITIONS SHOWN ON THE DRAWINGS @ THE JOB SITE & NOTIFY ARCHITECT OF ANY OMISSIONS, DISCREPANCIES AND / OR CONFLICTS BEFORE PROCEEDING W/ WORK.
- FINISH ALL INTERIOR WALLS FINISH WITH LEVEL 4 FINISH / VERIFY REQUIREMENTS / COORDINATE GYPBOARD INSTALLATION / DETAILS WITH OWNER / ARCHITECT FOR WALL ROUGH-INS.
- 6. SEAL TOP & BOTTOM JOIST, AND ALL PENETRATIONS, AIR TIGHT W/ PROPERLY RATED FIRE STOPPING MATERIAL.

Wall Types

₹₩₩₩₩₩₩¥

A. EXTERIOR WALL: PAINTED, SAND FINISH STUCCO ON WIRE LATH, I" T&G INSULATION BOARD, (2) LAYERS OF #15 PAPER, EXTERIOR SHEATHING PER PLAN / GSN ON 2x6 WOOD STUDS AT 16" O.C.. WEEP SCREED MIN. 4" ABOVE EARTH OR 2" ABOVE CONCRETE. MIN. 5 I/2" BATT INSULATION BETWEEN. I/2" GYPSUM WALL BOARD WITH TEXTURE FINISH APPROVED BY OWNER ON INTERIOR SIDE. REFER TO SHEAR WALL SCHEDULE FOR TYPICAL NAILING & ANCHOR BOLT SPECIFICATIONS.

2000002

B. PATIO WALL: 8X8X16 CMU WALL WITH PAINTED, SAND FINISH STUCCO.

C. BEARING PARTITION: 2X6 WOOD STUDS @ 16" O.C. W/ 1/2" GYP BOARD EACH SIDE.

-

D. NON-BEARING PARTITION: 2X6 WOOD STUDS @ 24"
O.C. W/ I/2" GYP BOARD (DUROROCK BACKER
BOARD ON ALL WET WALLS).

ANNOUN E PROVINCIANO E VICTORIA

E. NON-BEARING PARTITION: 2X4 WOOD STUDS @ 24" O.C. W/ I/2" GYP BOARD.

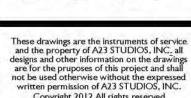
ENGINEERED WOOD FLO

Floor Finish Legend

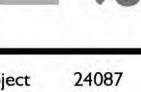
PORCELAIN TILE

DIMENSIONE FLOOR PLAN

GARIGAN RESIDENCE
GUEST HOUSE
7288 North Cathedral Rock Roa
Tucson, Arizona 85718



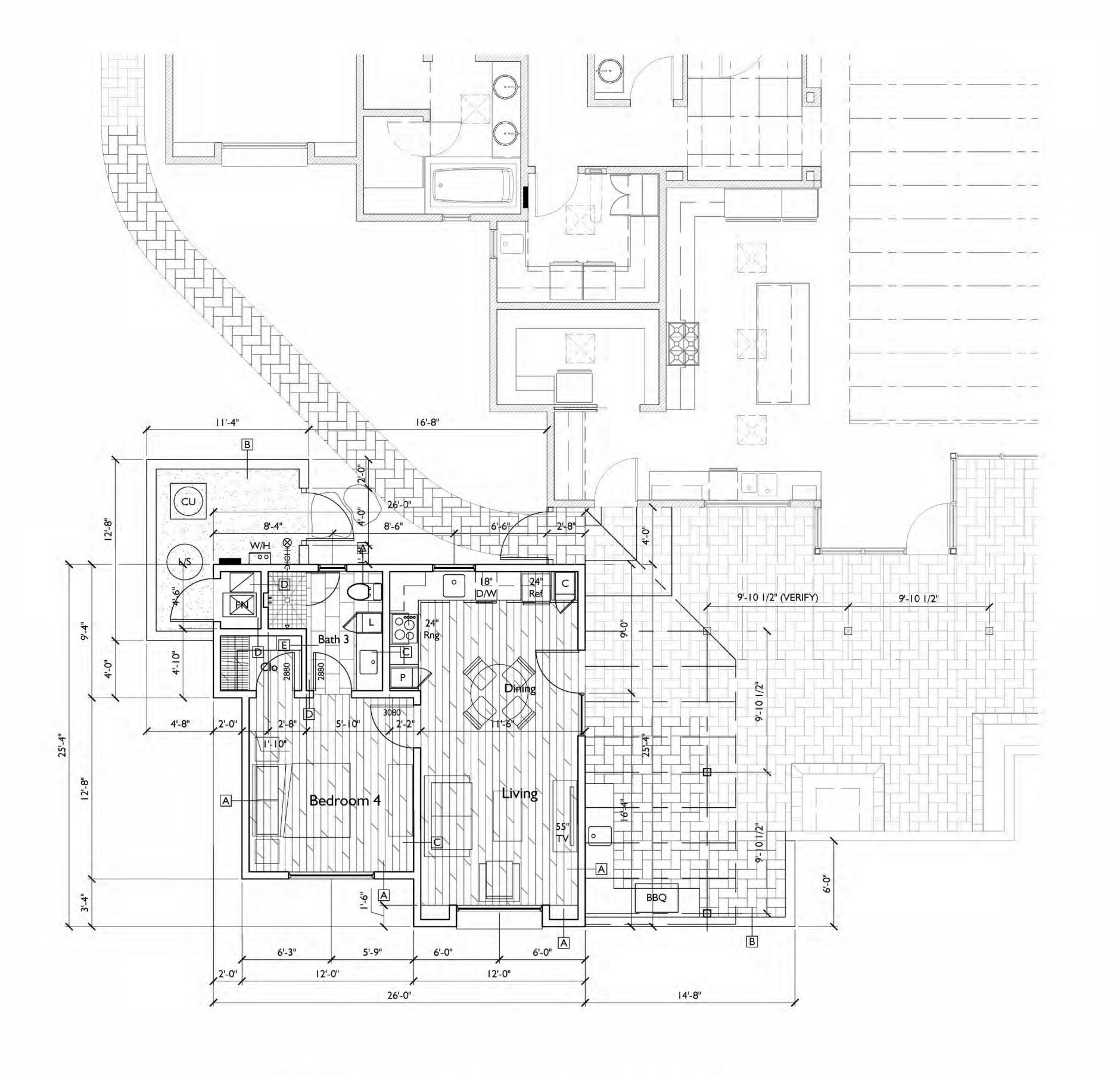




Date 1.30.25

Sheet

A2.1





NOTE:
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CONTRACT.



Floor Plan Wall Legend

WOOD FRAME WALL

MASONRY PATIO WALL

Floor Finish Legend

ENGINEERED WOOD FLOOR PORCELAIN TILE

Floor Plan Keynotes

TYPICAL WOOD FRAME EXTERIOR WALL PER WALL TYPES SHEET A2.1. TYPICAL INTERIOR WALL PER WALL TYPES SHEET A2.1. MASONRY MECHANICAL / UTILITY ENCLOSURE WALL W/ PAINTED STUCCO FINISH. SEE FOUNDATION PLAN / DETAILS.

ROUGH SAWN WOOD POST / BEAMS PER FRAMING PLAN.

CUSTOM STEEL / WOOD SERVICE GATE.

ELECTRICAL SUB-PANEL LOCATION. WATER SHUT-OFF VALVE LOCATION.

WASTE LIFT STATION / SEWER EJECTOR. SEE PLUMBING PLAN.

FURNACE / AIR HANDLER LOCATION.

TANKLESS GAS WATER HEATER LOCATION. OUTDOOR CONDENSING UNIT LOCATION.

CUSTOM WOOD INTERIOR DOOR TO MATCH HOUSE STANDARD.

13. ALUMINUM CLAD WOOD WINDOW / DOOR SYSTEM, TYP. SEE WINDOW ELEVATIONS SHEET A5.0.

14. FULLY LOUVERED METAL MECHANICAL ROOM DOOR PAINTED TO MATCH NO-STEP (1/2" MAX) THRESHOLD @ ENTRY DOOR.

16. MASONRY PATIO / RETAINING WALL W/ PAINTED STUCCO FINISH TO ALIGN WITH AND MATCH EXISTING. SEE FOUNDATION PLAN / DETAILS.

17. CUSTOM BUILT-IN BASE / UPPER CABINETS / SHELVES. SEE INTERIOR **ELEVATIONS SHEET A7.0** 18. 24" REFRIGERATOR LOCATION.

19. 24" ELECTRIC COOK TOP W/ HOOD ABOVE. 20. KITCHEN SINK W/ GARBAGE DISPOSAL.

21. 18" DISHWASHER LOCATION.

22. SALVAGED OUTDOOR BBQ / BAR SINK.

SALVAGED BUILT-IN BBQ.

24. CUSTOM MASONRY / METAL BASE CABINETS W/ STONE COUNTERTOP AT

OUTDOOR KITCHEN PER OWNER.

25. FLOOR MOUNTED TOILET LOCATION.

26. CUSTOM TEMPERED GLASS FRAMELESS SHOWER DOOR / ENCLOSURE (MINIMUM 22" CLEAR UNOBSTRUCTED OPENING PER IRC, SEC. P2708.1.1).

27. FULL HEIGHT TILED SHOWER WALLS WITH SLOPED TILE FLOOR TYP @ SHOWERS. 28. TILED SHOWER SHELF / SHAMPOO NICHE PER OWNER. COORDINATE ALL

REQUIREMENTS. 29. FURNITURE LOCATION PER OWNER, TYP. COORDINATE ALL

REQUIREMENTS. 30. CUSTOM BUILT-IN BOOKSHELVES IN NICHE PER OWNER.

31. CUSTOM MASTER BATH VANITY CABINET.

32. CUSTOM WALK-IN CLOSET SYSTEM PER OWNER. COORDINATE ALL

33. DASHED LINE INDICATES SOFFIT / CEILING TRANSITION ABOVE. SEE

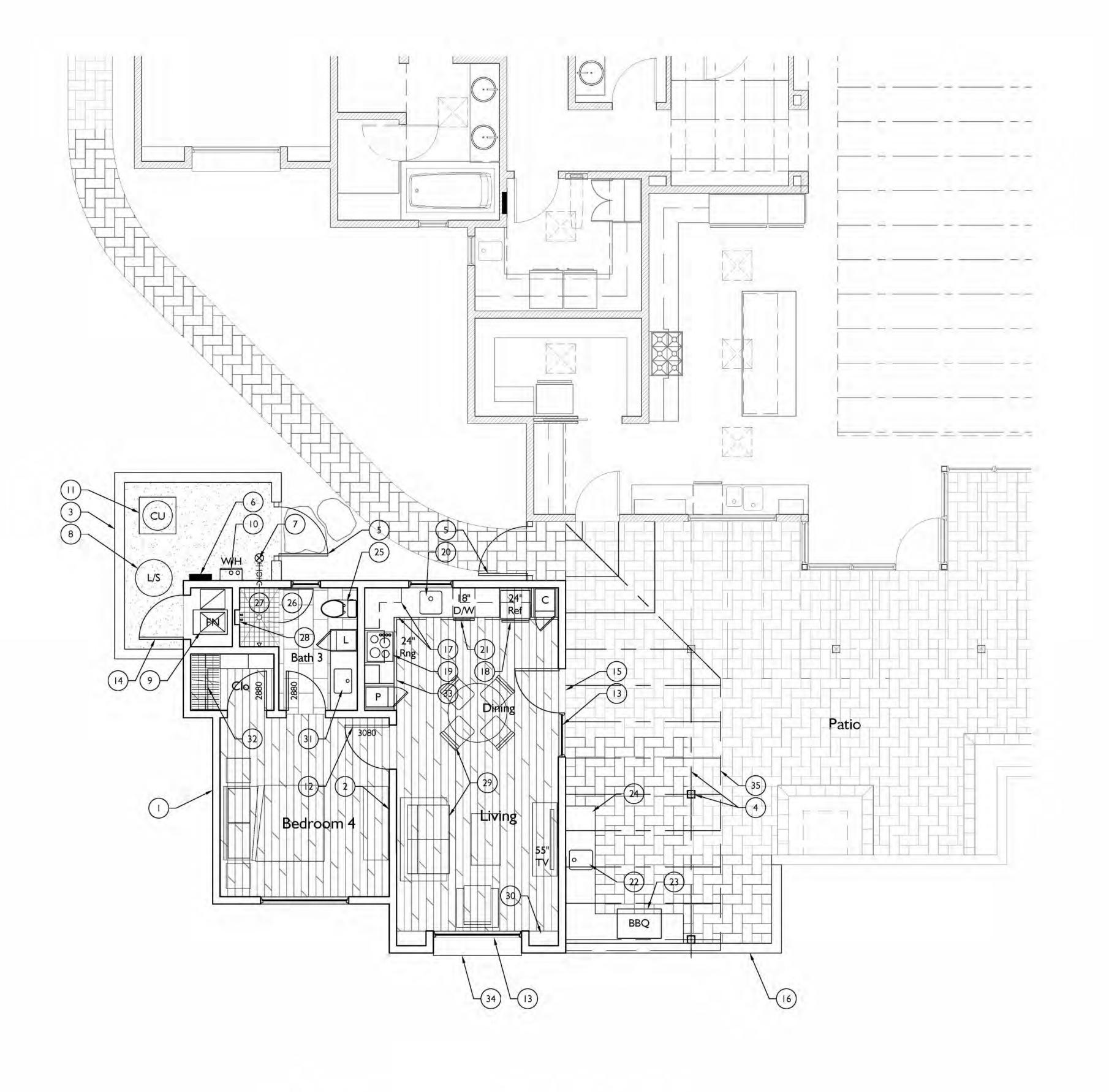
REFLECTED CEILING PLAN A3.0 FOR ADDITIONAL INFORMATION.

34. SLOPED STUCCO WINDOW SILL, TYP. 35. DASHED LINE INDICATES ROOF LINE / OVERHANG ABOVE.

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Legend

2X6 T&G WOOD DECKING

1/2" GYPBOARD TAPED AND TEXTURED
(USE "SAG RESISTANT" GYPBOARD AT FRAMING OF 24" O.C OR
GREATER TYP.).

PAINTED STUCCO

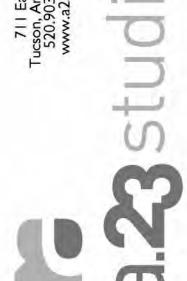
RCP General Notes

- ALL HEIGHTS LISTED OCCUR ABOVE THEIR OWN FINISH FLOOR
- ALL CEILING INSULATION IS TO THE BOTTOM OF ROOF SHEATHING (NO ATTIC VENTILATION CALCULATIONS ARE REQUIRED).
- UN-VENTED ATTIC PER IRC SECTION R104.11 "ALTERNATIVE MATERIALS, DESIGN AND METHODS OF CONSTRUCTION AS APPROVED BY THE LOCAL JURISDICTIONS".

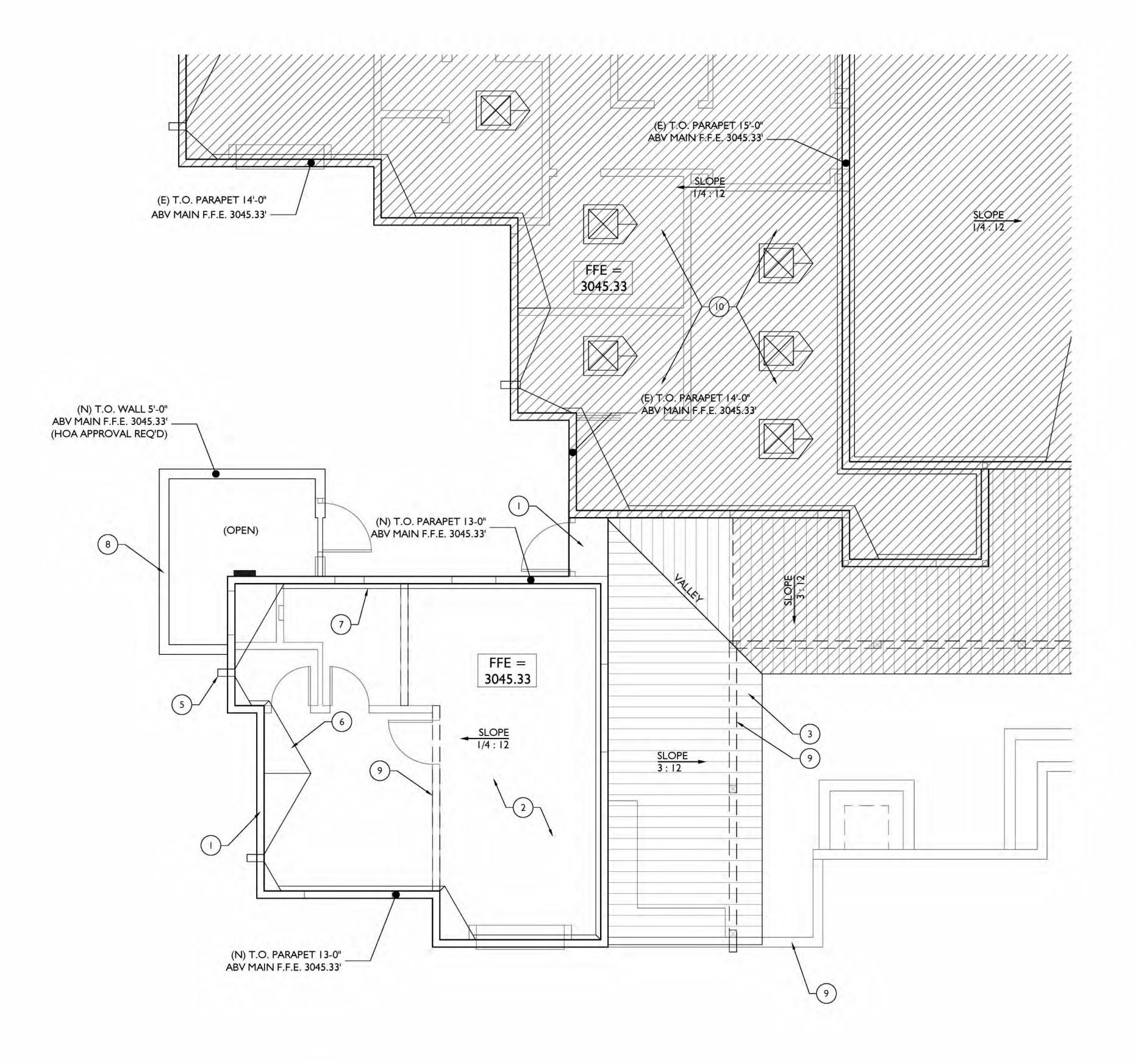
RCP Keynotes

- I/2" GYPBOARD CEILING TAPED AND TEXTURED TO MATCH HOUSE STANDARD TYP. UNO.
- EXTERIOR / STRUCTURAL WOOD BEAMS AND 2X WOOD DECKING PER
- FRAMING PLAN. PAINT / STAIN TO MATCH EXISTING. EXTERIOR SOFFIT / HEADER W/ PAINTED STUCCO FINISH TO MATCH
- HOUSE STANDARD. VERIFY HEIGHT IN FIELD. 2X WOOD FASCIA. SEE DETAILS.
- EXISTING HOUSE CEILING TO REMAIN. PATCH / REPAIR AS REQUIRED BY
 - NEW WORK.

GYPBOARD SOFFIT / CEILING TRANSITION. HEIGHT AS INDICATED.



Date





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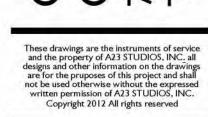
Roof Plan Legend

T.O.PARAPET T.O.RIDGE T.O.CHIMNEY TOP OF PARAPET
TOP OF RIDGE
TOP OF CHIMNEY (MASONRY) T.O.W F.F.E

TOP OF WALL FINISHED FLOOR ELEVATION

Roof Plan Keynotes

- STUCCO WRAPPED PARAPET CAP TO MATCH EXISTING, TYP.
 3-PLY BUILT-UP ROOF WITH TINTED ELASTOMERIC COATING TO MATCH
- RESIDENCE.
- 2-PIECE CLAY BARREL ROOF TILE OVER 2X T&G DECK PER PLAN. 4. 24" SQUARE CLEAR INSULATED CURB-MOUNTED SKYLIGHTS. INSTALL PER
- MANUFACTURER'S SPECIFICATIONS.
- CLAY PIPE SCUPPER, TYP. PLYWOOD CRICKET.
- 4" CANT STRIP AT ROOF PERIMETER.
- MASONRY PATIO / UTILITY YARD WALL BELOW W/ STUCCO FINISH.
- BEARING WALL / BEAM BELOW PER FRAMING PLAN.
- 10. EXISTING HOUSE ROOF TO REMAIN.





KEY PLAN

SCALE 3/32"=1'-0"



Ш

WINDOWS LESS THAN 60" ABOVE DRAIN. C. ESCAPE OR RESCUE WINDOWS SHALL HAVE A MINIMUM NET CLEAR OPERABLE AREA OF 5.7 SQUARE FEET. MINIMUM NET CLEAR OPENABLE HEIGHT DIMENSION SHALL BE 24". MINIMUM NET CLEAR OPENABLE WIDTH DIMENSION SHALL BE 20".

D. BASEMENT AND SLEEPING ROOMS ARE REQUIRED TO HAVE MINIMUM I (ONE) WINDOW OR DOOR APPROVED FOR

E. ALL EGRESS DOORS SHALL BE READILY OPENABLE FROM THE EGRESS SIDE WITHOUT THE USE OF A KEY OR SPECIAL

F. ALL WINDOW HEIGHTS OCCUR ABOVE THEIR OWN FINISHED

G. INSTALL APPROVED CORROSION RESISTANT FLASHING AT TOP OF ALL EXTERIOR WINDOWS AND DOOR OPENINGS PER 2012 IRC

W/ OWNER PRIOR TO FABRICATION.

Window Keynotes ①

- ALUMINUM CLAD WOOD WINDOW / DOOR SYSTEM TO MATCH
- MATCH ADJACENT EXTERIOR WALL.

- SYSTEM, TYP. MATCH EXISTING WINDOWS / DOORS.
- B. INSULATED / DOUBLE PANE GLAZING / CLEAR COLOR. C. LOW 'e' COATING

TEMPERED GLASS

FIXED WINDOW

Elevation Keynotes

- PAINTED STUCCO FINISH OVER 2X WOOD FRAME WALL PER PLAN. ALUMINUM CLAD WOOD WINDOW / DOOR SYSTEM. SEE WINDOW

Window General Notes

ARC OF EITHER VERTICAL EDGE OF A DOOR / GLAZING WITHIN 18" ABOVE FINISH FLOOR PER 2012 IRC SECTION R308.4. B. SAFETY GLAZING REQUIRED FOR BATHROOM / SHOWER

SAFETY GLAZING REQUIRED FOR ALL WINDOWS WITHIN A 24"

WINDOWS SHALL HAVE A MAXIMUM SILL HEIGHT NOT MORE THAN 44" ABOVE FINISH FLOOR.

EMERGENCY ESCAPE OR RESCUE WHICH OPENS DIRECTLY TO A PUBLIC WAY.

KNOWLEDGE OR EFFORT.

SECTION R703.8. H. VERIFY WINDOW DIMENSIONS / ROUGH OPENINGS / OPERATION

- EXISTING, TYP.
- SLOPE STUCCO SILL, TYP.

 $\langle F \rangle$

KITCHEN

(EXISTING)

BATH 2

^ OBSCURE GLASS / FILM

PER OWNER

(E)

BATHROOM

 $\langle D \rangle$

MECHANICAL

BEDROOM

WINDOW & DOOR ELEVATIONS

FULLY LOUVERED HOLLOW METAL EXTERIOR DOOR. PAINT TO

System Performance

- A. SIERRA PACIFIC ALUMINUM CLAD WOOD WINDOW / DOOR

- D. U-FACTOR = 0.40 OR BETTER

 E. SHGC = 0.25 OR BETTER

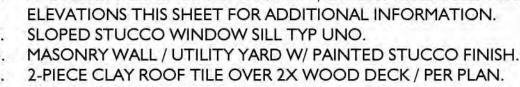
 F. PROVIDE BUILT-IN INSECT PROTECTION SCREENS AT ALL OPERABLE WINDOWS UNLESS NOTED OTHERWISE.

Window Legend

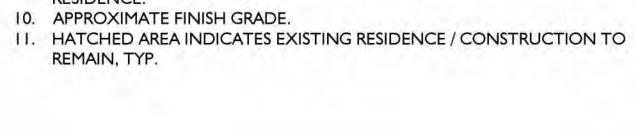
OPERABLE WINDOW OR DOOR SYSTEM

* ESCAPE OR RESCUE WINDOW

FROSTED / OBSCURED GLASS



ROUGH SAWN WOOD BEAM PER PLAN.
 ROUGH SAWN WOOD POST PER PLAN.
 CLAY DRAIN TILE SCUPPER. SEE ROOF PLAN SHEET A4.0 FOR ADDITIONAL INFORMATION.
 FULLY LOUVERED METAL MECHANICAL ROOM DOOR PAINTED TO MATCH RESIDENCE.

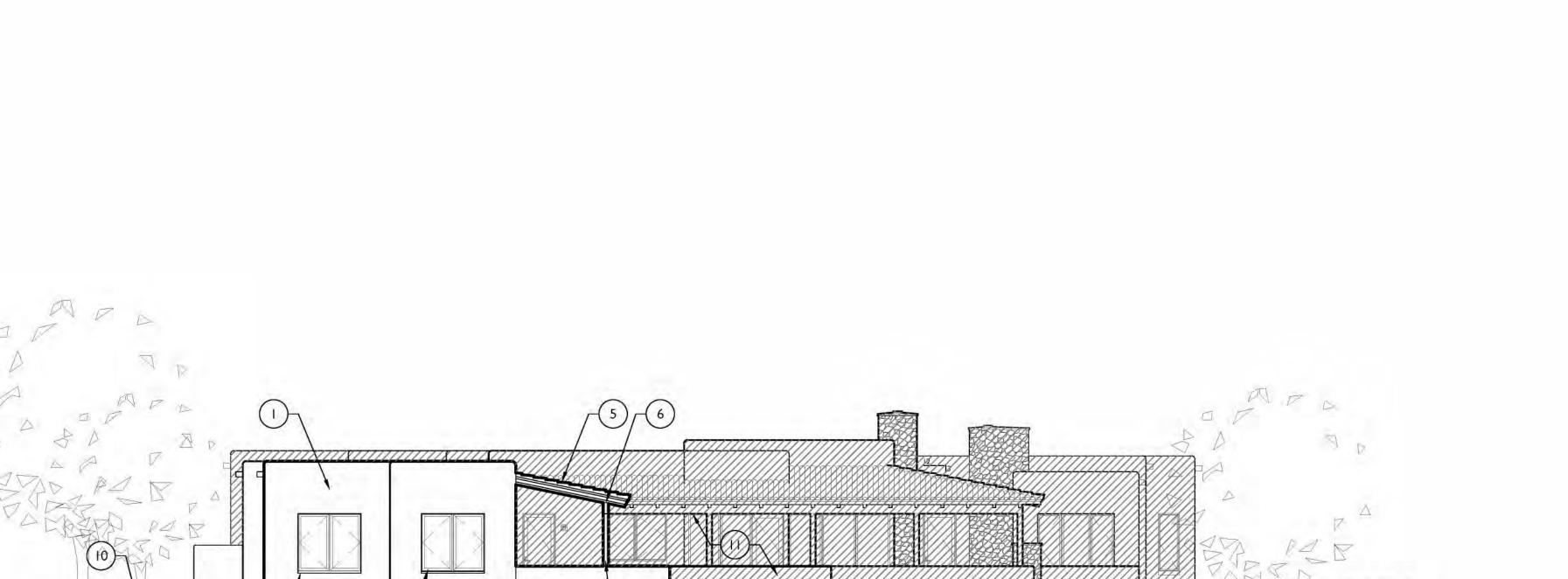


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SOUTH ELEVATION

Scale 1/8" = 1'-0"

Scale 1/8" = 1'-0"

 $\langle B \rangle$

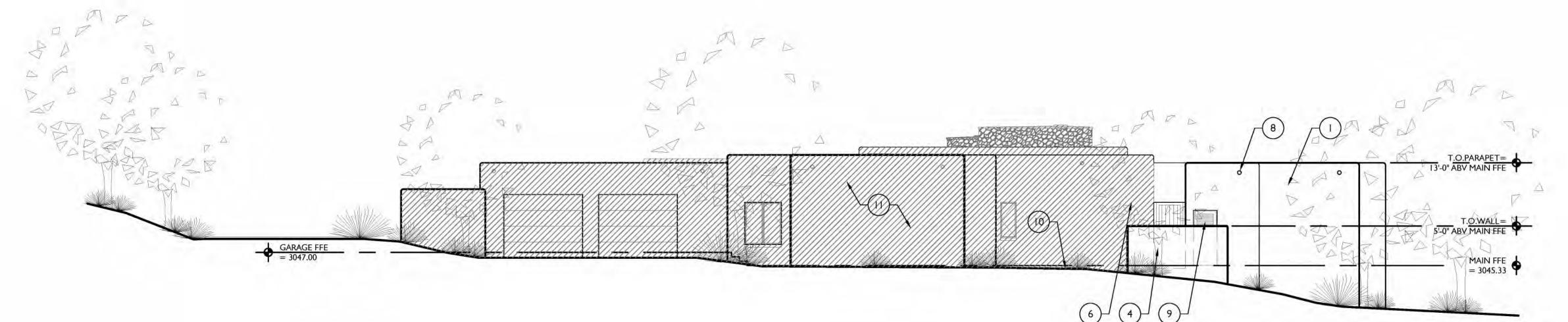
LIVING ROOM

SCALE 1/4"=1'-0"

F.F.E. = 45.33

(A) ENTRY

^ OPTIONAL OBSCURE GLASS



WEST ELEVATION

PAINTED STUCCO FINISH OVER 2X WOOD FRAME WALL PER PLAN.
 CONCRETE SLAB AND FOOTING PER FOUNDATION PLAN SHEET \$1.0.
 ALUMINUM CLAD WOOD WINDOW / DOOR SYSTEM. SEE WINDOW

5. MASONRY MECHANICAL / UTILITY YARD WALL W/ PAINTED STUCCO FINISH.

ELEVATIONS SHEET A5.0 FOR ADDITIONAL INFORMATION.

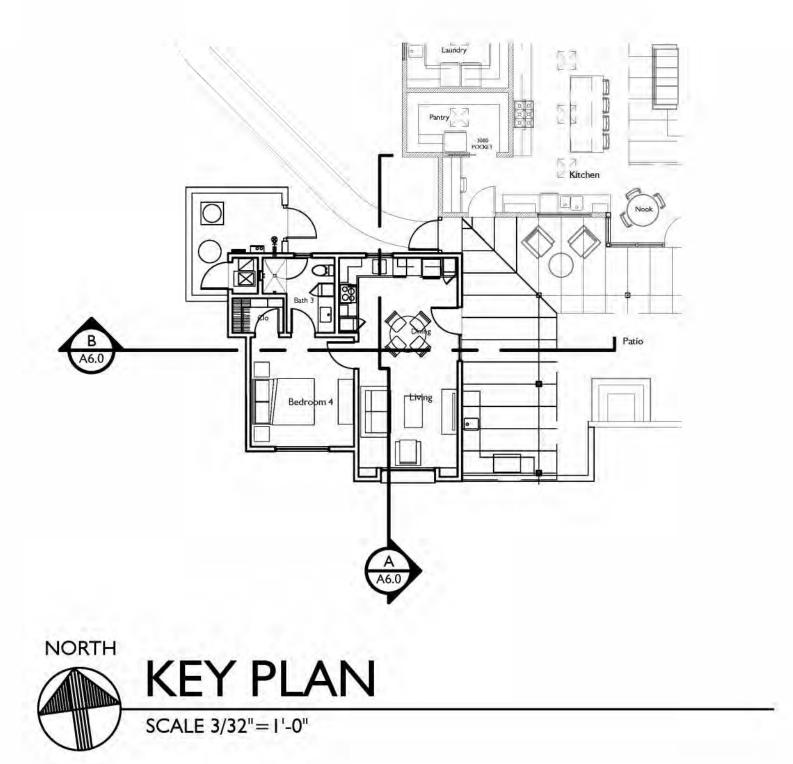
6. 2-PIECE CLAY ROOF TILE OVER 2X WOOD DECK / PER PLAN.

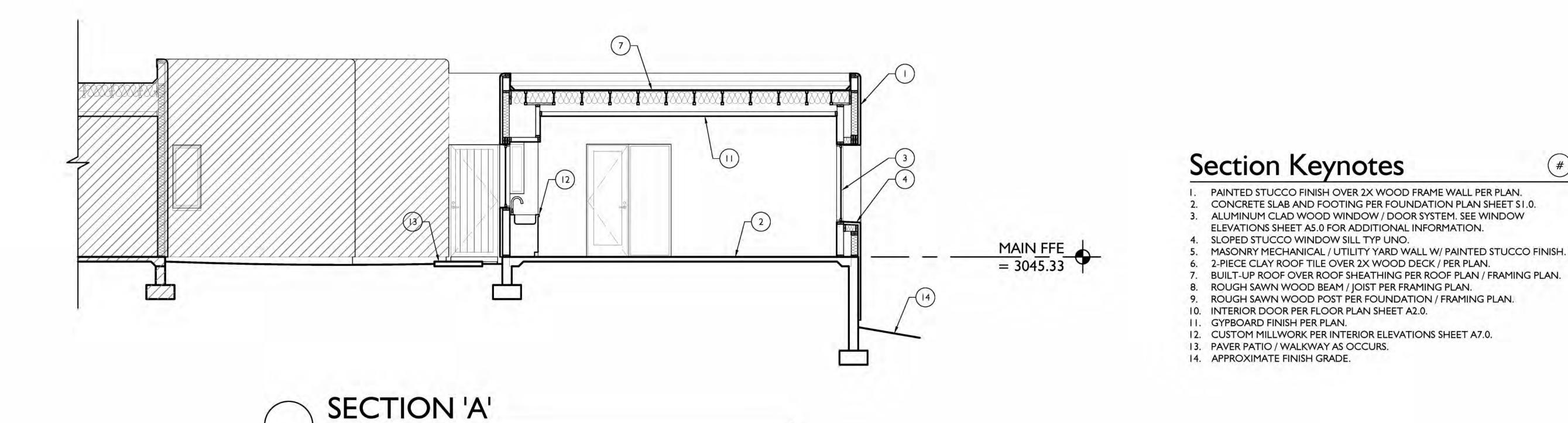
9. ROUGH SAWN WOOD POST PER FOUNDATION / FRAMING PLAN.

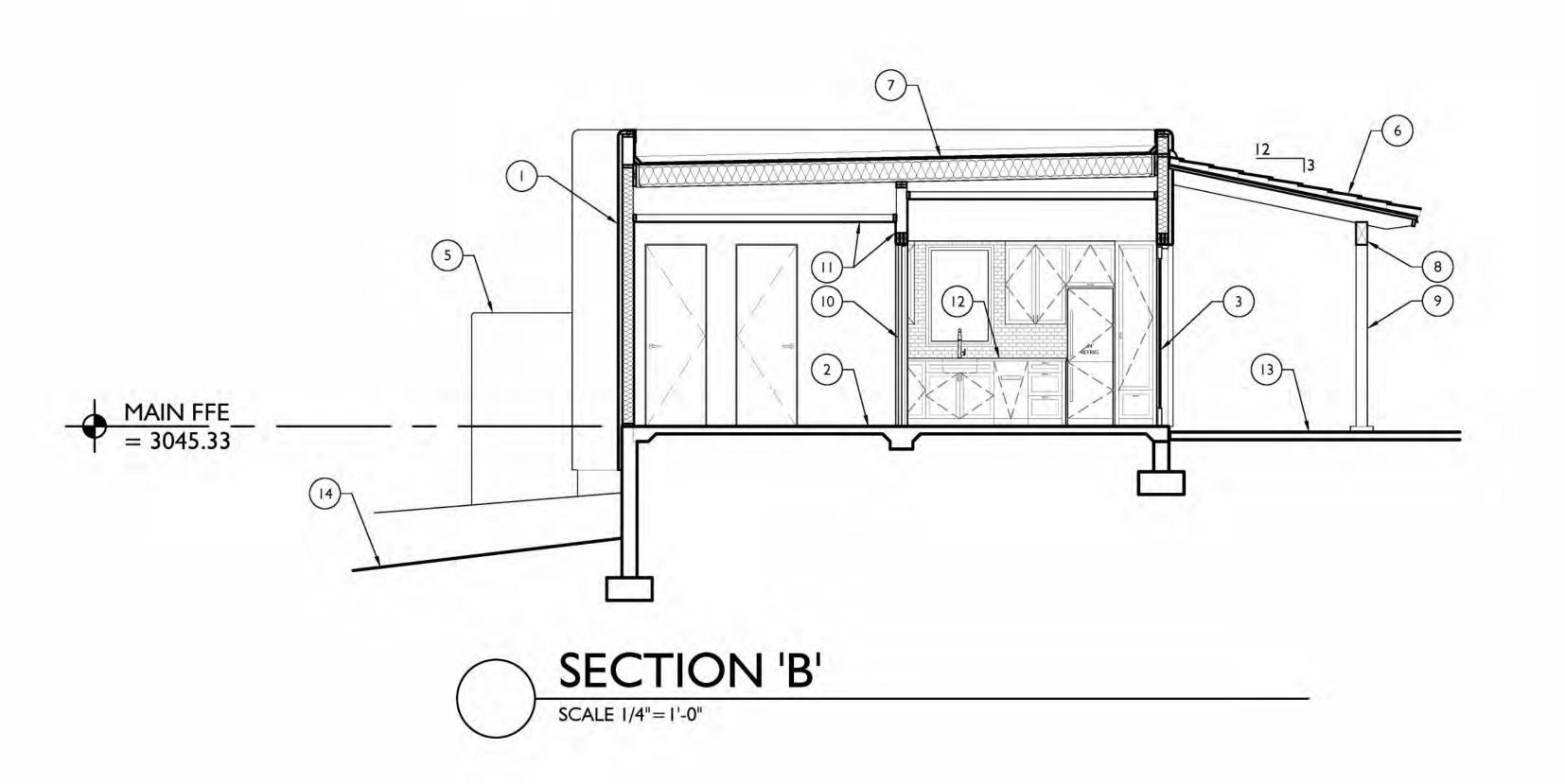
4. SLOPED STUCCO WINDOW SILL TYP UNO.

Date

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SCALE 1/4"=1'-0"



NTERIOR ELEVATION

ARIGAN RESIDENCE JEST HOUSE 38 North Cathedral Rock Road cson, Arizona 85718

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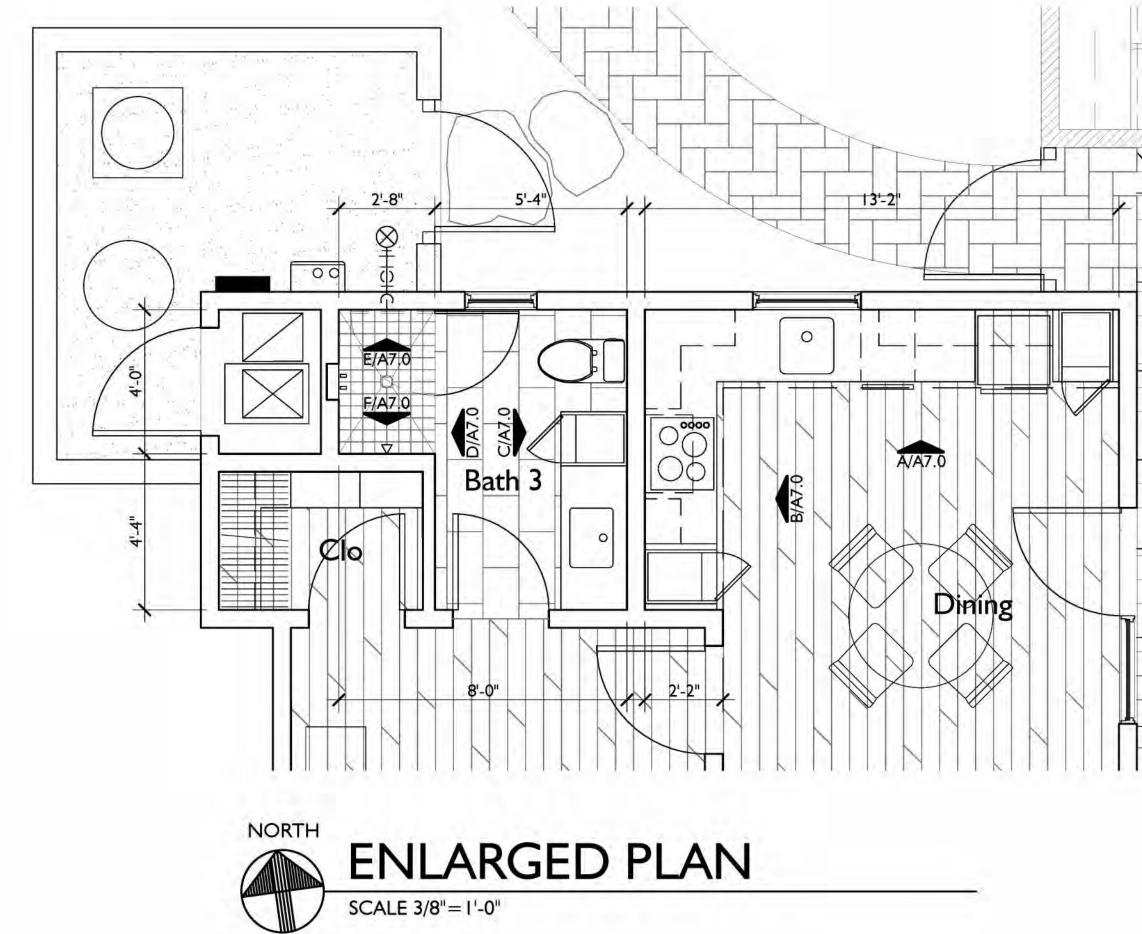


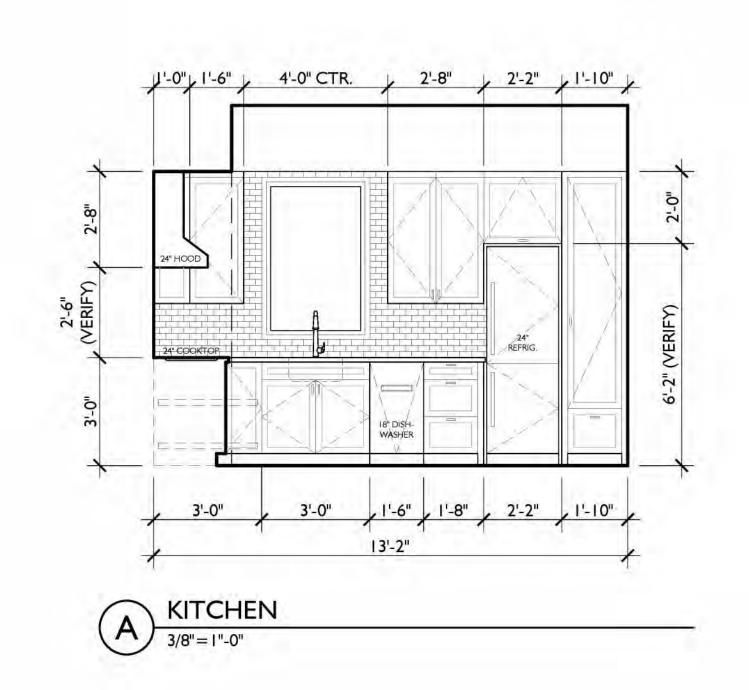
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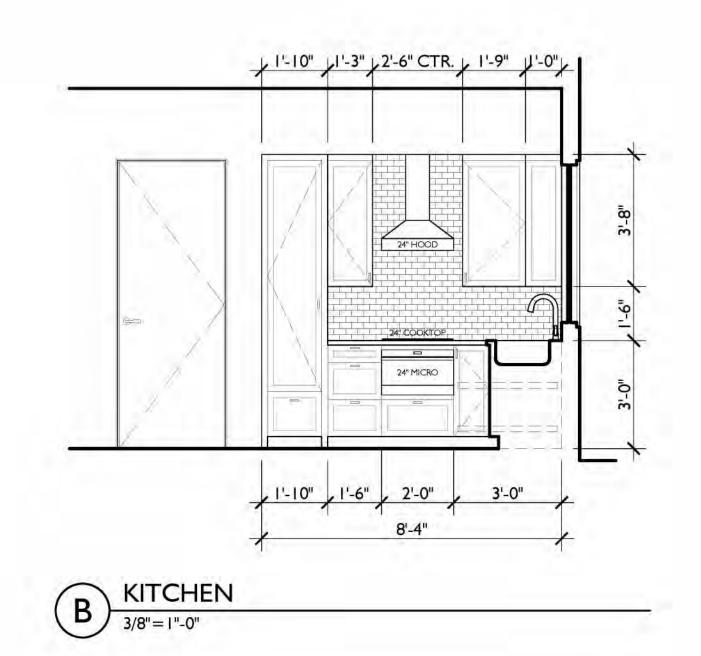
Date 1.30.25

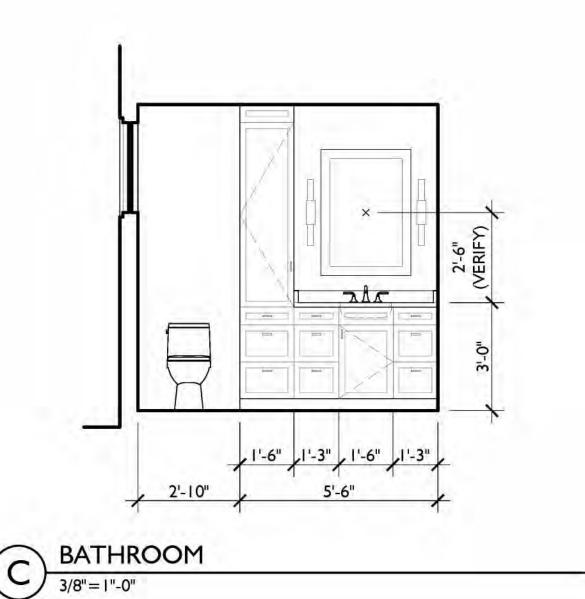
Scale Noted Sheet

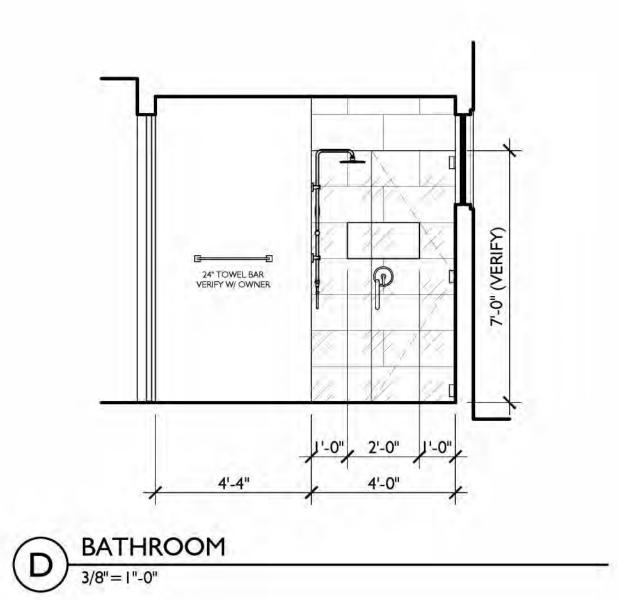
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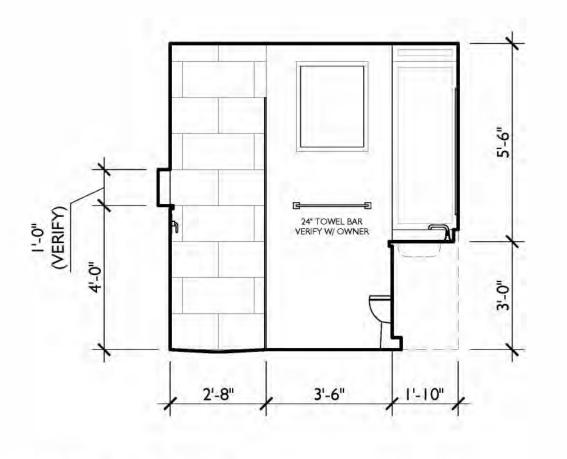


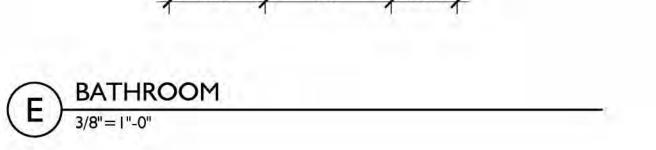


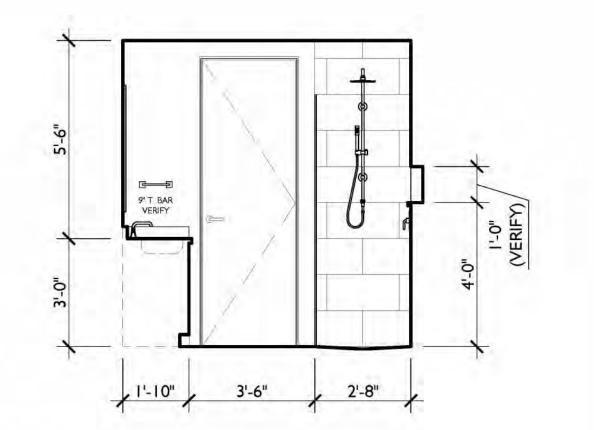












General Structural Notes

DESIGN CRITERIA:

2018 EDITION OF THE INTERNATIONAL BUILDING CODE, WITH LOCAL AMENDMENTS.

ROOF LIVE LOAD = 20 PSF (REDUCIBLE).

SUPERIMPOSED DEAD LOAD ON ROOF JOISTS = 15 PSF (17 PSF METAL ROOF CONDITION)

FLOOR LIVE LOAD = 40 PSF (REDUCIBLE).

SUPERIMPOSED DEAD LOAD ON FLOOR JOISTS = 15 PSF. (25 PSF ON PORCHES)

DESIGN CATEGORY I
WIND LOAD = 115 MPH WIND SPEED (USD), EXPOSURE C, I=1.0, C&C=25 PSF.

ALL LATERAL LOADS INDICATED ARE WORKING STRESS LOADS U.N.O.

GENERAL:

THE STRUCTURAL CONSTRUCTION DOCUMENTS REPRESENT THE FINISHED STRUCTURE. THEY DO NOT INDICATE THE METHOD OR SEQUENCE OF CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR AND PROVIDE ALL MEASURES NECESSARY TO PROTECT THE STRUCTURE DURING CONSTRUCTION. SUCH MEASURES SHALL INCLUDE, BUT NOT BE LIMITED TO, BRACING, SHORING FOR LOADS DUE TO CONSTRUCTION EQUIPMENT, ETC. THE STRUCTURAL ENGINEER SHALL NOT BE RESPONSIBLE FOR THE CONTRACTOR'S MEANS, METHODS, TECHNIQUES, SEQUENCES FOR PROCEDURE OF CONSTRUCTION, OR THE SAFETY PRECAUTIONS AND THE PROGRAMS INCIDENT THERETO (NOR SHALL OBSERVATION VISITS TO THE SITE INCLUDE INSPECTION OF THESE ITEMS). THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN AND IMPLEMENTATION OF ALL SCAFFOLDING, BRACING AND SHORING.

- CONSTRUCTION MATERIALS SHALL BE SPREAD OUT IF PLACED ON FRAMED CONSTRUCTION.
 LOAD SHALL NOT EXCEED THE DESIGN LIVE LOAD PER SQUARE FOOT.
- 3. WHERE REFERENCE IS MADE TO VARIOUS TEST STANDARDS FOR MATERIALS, SUCH STANDARDS SHALL BE THE LATEST EDITION AND/OR ADDENDA.
- ESTABLISH AND VERIFY ALL OPENINGS AND INSERTS FOR ARCHITECTURAL, MECHANICAL, PLUMBING AND ELECTRICAL WITH APPROPRIATE TRADES, DRAWINGS AND SUBCONTRACTORS PRIOR TO CONSTRUCTION.
- OPTIONS ARE FOR CONTRACTOR'S CONVENIENCE. IF AN OPTION IS CHOSEN, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL NECESSARY CHANGES AND SHALL COORDINATE ALL DETAILS WITH ALL TRADES.
- 6. NOTES AND DETAILS ON DRAWINGS SHALL TAKE PRECEDENCE OVER GENERAL STRUCTURAL NOTES AND TYPICAL DETAILS. WHERE NO DETAILS ARE SHOWN, CONSTRUCTION SHALL CONFORM TO SIMILAR WORK ON THE PROJECT. FOR BIDDING PURPOSES, WHERE ANY MEMBER IS SHOWN BUT NOT CALLED OUT, THE LARGEST SIMILAR MEMBER SHALL BE UTILIZED.
- CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION OF ALL DIMENSIONS WITH ARCHITECTURAL DRAWINGS PRIOR TO START OF CONSTRUCTION. RESOLVE ANY DISCREPANCY WITH THE ARCHITECT. DO NOT USE SCALED DIMENSIONS.
- 8. ALL DETAILS SHALL BE INCORPORATED INTO THE PROJECT AT ALL APPROPRIATE LOCATIONS, WHETHER SPECIFICALLY CUT OR NOT. TYPICAL DETAILS MAY NOT NECESSARILY BE CUT ON PLANS, BUT APPLY UNLESS NOTED OTHERWISE. FOR CLARITY, DETAILS MAY SHOW ONLY ONE SIDE OF FRAMING CONDITION.
- WHERE DISCREPANCIES OCCUR BETWEEN PLANS, DETAILS, GENERAL STRUCTURAL NOTES AND SPECIFICATIONS, THE GREATER REQUIREMENTS SHALL GOVERN.
- 10. ANY ENGINEERING DESIGN, PROVIDED BY OTHERS AND SUBMITTED FOR REVIEW, SHALL BEAR THE SEAL OF AN ENGINEER REGISTERED IN THE STATE OF ARIZONA.

FOUNDATIONS:

- I. FOUNDATION DESIGN IS BASED UPON SOIL REPORT BY BRAZOS GEOTECH; JOB NO.24475. ALL CONSTRUCTION SHALL CONFORM TO THE REQUIREMENTS OF THE SOILS REPORT. SPREAD FOOTINGS SHALL BEAR ON FIRM, UNDISTURBED SOIL AND/OR ENGINEERED FILL PER THE SOILS REPORT. DESIGN SOIL BEARING VALUE =2500 PSF AT 1'-0" BELOW LOWEST ADJACENT FINISHED GRADE.
- PROVIDE POSITIVE DRAINAGE SLOPES, BOTH DURING AND AFTER CONSTRUCTION, FOR SURFACE AND ROOF RUNOFF. MINIMUM 10'-0" FROM BUILDING FOUNDATIONS.
- DO NOT BACKFILL AGAINST BASEMENT OR RESTRAINED WALLS UNTIL FRAMING TO SUPPORT WALL IS PERMANENTLY ATTACHED. DO NOT EXCEED 1'-0" DIFFERENTIAL IN FILL LEVEL ON OPPOSITE SIDES OF FOUNDATION WALLS.
- 4. THE STRUCTURAL ENGINEER IS NOT RESPONSIBLE FOR ANY GEOTECHNICAL ASPECTS OF THIS PROJECT. THE OWNER SHALL EMPLOY A REGISTERED GEOTECHNICAL ENGINEER TO PERFORM NECESSARY TESTING AND QUALITY CONTROL INSPECTIONS TO ENSURE THAT THE REQUIREMENTS OF THE SOILS REPORT ARE COMPLIED WITH. ALL EARTHWORK SHALL BE INSPECTED AND APPROVED BY THE GEOTECHNICAL ENGINEER.
- 5. FOR CLARITY, ALL EXTERIOR SLABS AND SIDEWALKS MAY NOT BE SHOWN. FOR EXACT DIMENSIONS, LOCATIONS, JOINT AND SLOPE LINES, ETC. SEE ARCHITECTURAL DRAWINGS.

CONCRETE:

- I. ALL CONCRETE WORK SHALL CONFORM WITH THE REQUIREMENTS OF ACI 301 AND ACI 318. CEMENT PER ASTM C150, TYPE II. AGGREGATE PER ASTM C33. LIGHTWEIGHT AGGREGATE PER ASTM C330. CONCRETE SHALL BE READY MIXED IN ACCORDANCE WITH ASTM C94 AND SHALL BE DESIGNED FOR A MINIMUM 28 DAY COMPRESSIVE STRENGTH AS FOLLOWS:
- SLABS ON GRADE ------3,000 PSI*
 FOUNDATIONS ------3,000 PSI*
- DESIGNED FOR 2500 PSI

 FLY ASH IF PERMITTED BY ARCHITECTURAL SPECIFICATION
- 2. FLY ASH IF PERMITTED BY ARCHITECTURAL SPECIFICATIONS, SHALL CONFORM TO ASTM C618, CLASS F AND SHALL BE LIMITED TO 18% OF CEMENTITIOUS MATERIALS AND SHALL HAVE A REPLACEMENT FACTOR OF 1.2 RELATIVE TO CEMENT REPLACED. CONCRETE SHALL BE FREE OF CHLORIDE. MAXIMUM SLUMP 4 1/2" FOR CONCRETE WITHOUT PLASTICIZER. IF PLASTICIZER IS USED, AN 8" MAXIMUM SLUMP IS ALLOWED AT PLACEMENT. ALL MIX DESIGNS SHALL BE DESIGNED BY THE CONCRETE PRODUCTION FACILITY IN ACCORDANCE WITH ACI 301 AND SHALL BE REVIEWED BY THE STRUCTURAL ENGINEER PRIOR TO PLACEMENT.
- 3. MECHANICALLY VIBRATE ALL CONCRETE WHEN PLACED, EXCEPT THAT SLABS ON GRADE NEED BE VIBRATED ONLY AROUND UNDER-FLOOR DUCTS, ETC. DO NOT DROP CONCRETE MORE THAN FIVE FEET WITH OUT THE USE OF TREMIES. REVIBRATE TOPS OF CAISSONS 15 MINUTES AFTER PLACING CONCRETE. UNLESS APPROVED OTHERWISE IN WRITING BY THE ARCHITECT, ALL CONCRETE SLABS ON GRADE SHALL BE BOUND BY CONTROL JOINTS (KEYED OR SAW CUT), AS SHOWN ON THE FOUNDATION PLAN, SUCH THAT THE ENCLOSED AREA DOES NOT EXCEED 225 SQUARE FEET. KEYED CONTROL JOINTS NEED ONLY OCCUR AT EXPOSED EDGES DURING POURING, ALL OTHER JOINTS MAY BE SAW CUT. CAST CLOSURE POUR AROUND COLUMNS AFTER COLUMN DEAD LOAD IS APPLIED.
- 4. PROVIDE SLEEVES FOR ALL UTILITY OPENINGS. DO NOT CUT ANY REINFORCING AT OPENINGS. CONCRETE WHICH HAS CONTAINED WATER FOR MORE THAN 90 MINUTES (60 MINUTES IF AIR TEMPERATURE EXCEEDS 85 DEGREES) SHALL NOT BE USED. RETEMPERING OF CONCRETE AFTER INITIAL SET IS NOT ALLOWED. CURE EXPOSED CONCRETE PER ACI 301 FOR A MINUMUM OF 7 DAYS.

MASONRY:

- I. C.M.U. SHALL CONFORM TO ASTM C90, NORMAL WEIGHT, GRADE N, TYPE I, F'm =2,000 PSI, RUNNING BOND, WITH A NET COMPRESSIVE STRENGTH OF 1900 PSI PER ASTM
- 2. MORTAR SHALL CONFORM TO ASTM C270, TYPE S, 1,800 PSI. PRE-MIXED MORTAR AND RETARDANT ADDITIVES SHALL NOT BE USED. FINE OR COURSE GROUT PER ASTM C476, 2,000 PSI AT 28 DAYS, TESTED PER ASTM C1019. GROUT SHALL BE FREE OF FLY ASH
- 3. SEE DRAWINGS FOR SIZE AND SPACING OF REINFORCING. LAP SPLICE ALL REINFORCING 48 BAR DIAMETERS. ALL REINFORCING SHALL BE ACCURATELY LOCATED PRIOR TO AND DURING GROUTING. TIE ALL VERTICAL REINFORCING AT 8'-0" VERTICALLY WITH SINGLE WIRE LOOP TIE BY A.A. WIRE PRODUCTS COMPANY. DOWEL ALL VERTICAL REINFORCING TO FOUNDATION WITH DOWELS TO MATCH SIZE AND SPACING OF VERTICAL REINFORCING. PROVIDE BENT BARS TO MATCH HORIZONTAL BOND BEAM REINFORCING AT CORNERS AND WALL INTERSECTIONS.
- 4. HORIZONTAL JOINT REINFORCING SHALL BE 9 GAGE LADDER TYPE JOINT REINFORCEMENT PER ASTM A82 AT 16" O.C. WITH 12" SPLICES. USE TRUSS TYPE JOINT REINFORCEMENT IN BRICK OR COMPOSITE WALLS. USE 1 #4 MINIMUM CONTINUOUS ABOVE AND BELOW OPENINGS AND EXTEND THIS REINFORCING 24" PAST EACH SIDE OF OPENINGS.

5. ALL CELLS AND COURSES WITH REINFORCING AND ADDITIONAL CELLS AND COURSES NOTED ON DRAWINGS SHALL BE GROUTED SOLID. ALL MASONRY BELOW FINISHED FLOOR OR GRADE SHALL BE GROUTED SOLID. MECHANICALLY VIBRATE GROUT IN VERTICAL SPACES IMMEDIATELY AFTER POURING AND AGAIN ABOUT 5 MINUTES LATER. PROVIDE CLEANOUTS IF GROUT LIFT EXCEEDS 5'-0" IN BLOCK WALLS. MAXIMUM GROUT LIFT SHALL BE 8'-0" WITH EACH LIFT STOPPING 1-1/2" BELOW THE TOP COURSE OF THE LIFT. PLACE GROUT LIFTS CONTINUOUS FOR HEIGHT OF LINTELS. DO NOT INTERRUPT GROUTING FOR MORE THAN ONE HOUR. FOG SPRAY ERECTED CMU EVERY 8 HOURS FOR 48 HOURS FOLLOWING INSTALLATION WHEN TEMPERATURES EXCEED 100 DEGREES OR WHEN THE TEMPERATURE EXCEEDS 90 DEGREES AND THE WIND SPEED IS GREATER THAN 8 MPH.

- 6. UNLESS NOTED OTHERWISE ON THE PLANS, PLACE CONTROL JOINTS IN MASONRY WALLS SUCH THAT NO STRAIGHT RUN OF WALL EXCEEDS 24'-0". CONTROL JOINTS SHALL NOT OCCUR AT WALL CORNERS, INTERSECTIONS, ENDS, WITHIN 24" OF CONCENTRATED POINTS OF BEARING OR JAMBS, OR OVER OPENINGS UNLESS SPECIFICALLY SHOWN ON THE STRUCTURAL DRAWINGS.
- 7. MORTAR AND GROUT SHALL BE TESTED BY A QUALIFIED TESTING AGENCY. MORTAR SHALL BE TESTED FOR EVERY THIRD DAY'S WORK. GROUT SHALL BE TESTED FOR EACH 2000 SQUARE FEET OF WALL, OR EACH LIFT IF LESS THAN 2000 SQUARE FEET. PROVIDE 3 SAMPLES PER TEST. TEST ONE SAMPLE AT 7 DAYS, AND TWO SAMPLES AT 28 DAYS.

REINFORCING STEEL:

I. REINFORCING STEEL SHALL CONFORM TO ASTM A615 (Fy = 60 KSI) DEFORMED BARS FOR ALL BARS #5 AND LARGER. ASTM A615 (Fy = 40 KSI) DEFORMED BARS FOR ALL BARS #4 AND SMALLER. ALL REINFORCING TO BE WELDED SHALL BE ASTM A706. WELDED WIRE FABRIC PER ASTM A185, WIRE PER ASTM A82. NO TACK WELDING OF REINFORCING BARS ALLOWED WITHOUT PRIOR REVIEW OF PROCEDURE WITH THE STRUCTURAL ENGINEER. LATEST ACI CODE AND DETAILING MANUAL APPLY.

- ACCURATELY PLACE OR SUPPORT ALL REINFORCING, INCLUDING WELDED WIRE FABRIC, WITH GALVANIZED METAL CHAIRS, SPACERS OR HANGERS FOR THE FOLLOWING CLEAR CONCRETE COVERAGES:
- #5 AND SMALLER ------ I 1/2'
 COLUMNS (TO TIES) ------ I 1/
 BEAMS (TO STIRRUPS) ----- I 1/:
 FLAT SLAB ----- 3/4"

THAN THE SPACING OF CROSS WIRES PLUS 2 INCHES.

ALL OTHER PER LATEST EDITION OF ACI 318.

3. LAP SPLICES, UNLESS NOTED OTHERWISE, SHALL BE CLASS "B" TENSION LAP SPLICES PER LATEST EDITION OF ACI 318. STAGGER SPLICES A MINIMUM OF ONE LAP

LENGTH. LAPS IN WELDED WIRE FABRIC SHALL BE MADE SO THAT THE OVERLAP.

MEASURED BETWEEN OUTERMOST CROSS WIRES OF EACH FABRIC SHEET, IS NOT LESS

- 4. ALL SPLICE LOCATIONS SUBJECT TO APPROVAL BY THE STRUCTURAL ENGINEER.

 SPLICED BARS SHALL BE PLACED AT THE SAME EFFECTIVE DEPTH U.N.O. ALL

 REINFORCING NOTED AS "CONTINUOUS" SHALL BE FULLY CONTINUOUS AND SPLICED.

 PROVIDE BENT CORNER BARS TO MATCH AND LAP WITH HORIZONTAL BARS AT ALL

 CORNERS AND INTERSECTIONS PER TYPICAL DETAILS.
- 5. REINFORCING BAR SPACING GIVEN ARE MAXIMUM ON CENTERS. ALL BARS PER CRSI SPECIFICATIONS AND HANDBOOK. DOWEL ALL VERTICAL REINFORCING TO FOUNDATION WITH STANDARD 90 DEGREE HOOKS UNLESS NOTED OTHERWISE. SKEW HOOKS AS REQUIRED TO MAINTAIN CONCRETE COVER. SECURELY TIE ALL BARS IN LOCATION BEFORE PLACING CONCRETE.

STRUCTURAL STEEL

- I. ALL STEEL CONSTRUCTION SHALL CONFORM WITH THE LATEST AISC HANDBOOK. ALL STRUCTURAL STEEL W SECTIONS SHALL BE ASTM A992 (Fy = 50 KSI). ALL RECTANGULAR HSS SHALL BE ASTM A500, GRADE B (Fy = 46 KSI). ALL ROUND HSS SHALL BE ASTM A500, GRADE B (Fy = 42 KSI). ALL OTHER STRUCTURAL SHAPES AND PLATES SHALL BE ASTM A36 (Fy = 36 KSI). SHOP PAINT ALL STEEL SURFACES WITH FABRICATOR'S STANDARD RUST-INHIBITING PRIMER EXCEPT AT SURFACES ENCASED IN CONCRETE OR TO RECEIVE FIREPROOFING. BEAMS, COLUMNS AND BRACES SHALL NOT BE SPLICED WITHOUT THE PRIOR APPROVAL OF THE STRUCTURAL ENGINEER.
- BOLTS SHALL BE ASTM A307, UNLESS NOTED OTHERWISE. ANCHOR BOLTS SHALL BE ASTM A36 OR A307, GRADE A. ANCHOR RODS SHALL BE ASTM F1554, GRADE 36. THREADED RODS SHALL BE ASTM A36.
- 3. ALL WELDING PER LATEST AMERICAN WELDING SOCIETY STANDARDS. ALL WELDING SHALL BE PERFORMED BY WELDERS HOLDING VALID CERTIFICATES AND HAVING CURRENT EXPERIENCE IN THE TYPE OF WELD SHOWN ON THE DRAWINGS OR NOTES. CERTIFICATES SHALL BE THOSE ISSUED BY AN ACCEPTED TESTING AGENCY. ALL WELDING DONE BY E70 SERIES LOW HYDROGEN RODS UNLESS NOTED OTHERWISE. FOR GRADE 60 REINFORCING BARS, USE E90 SERIES. THESE DRAWINGS DO NOT DISTINGUISH BETWEEN SHOP AND FIELD WELDS; THE CONTRACTOR MAY SHOP WELD OR FIELD WELD AT HIS DISCRETION. SHOP WELDS AND FIELD WELDS SHALL BE SHOWN ON THE SHOP DRAWINGS SUBMITTED FOR REVIEW. ALL FULL (COMPLETE) PENETRATION WELDS SHALL BE TESTED AND CERTIFIED BY AN INDEPENDENT TESTING LABORATORY.
- 4. DRYPACK (NON-SHRINK GROUT) SHALL BE 5,000 PSI, FIVE STAR, SIKA 212 OR EQUIVALENT. INSTALL DRYPACK UNDER BEARING PLATES BEFORE FRAMING MEMBER IS INSTALLED. AT COLUMNS, INSTALL DRYPACK UNDER BASEPLATES AFTER COLUMN HAS BEEN PLUMBED BUT PRIOR TO FLOOR OR ROOF INSTALLATION.

EPOXY BOLTS OR DOWELS AND EXPANSION BOLTS:

- EPOXY BOLTS OR DOWELS SHALL BE A THREADED ROD OR REINFORCING STEEL INSTALLED WITH THE "SET-3G" ADHESIVE BY SIMPSON PER ICC-ES REPORT ESR-4057.
- EXPANSION BOLTS FOR CONCRETE SHALL BE A "KWIK BOLT II" BY HILTI INSTALLED PER ISS-ES REPORT ESR-1917. EXPANSION BOLTS SHALL NOT BE USED IN MASONRY.
- THE CONTRACTOR MAY NOT USE SUBSTITUTES FOR EPOXY OR EXPANSION ANCHORS WITHOUT PRIOR APPROVAL OF THE STRUCTURAL ENGINEER.
- 4. FOR MINIMUM EMBEDMENT LENGTH SEE DETAILS. INSTALL ALL BOLTS AS OUTLINED IN MANUFACTURER'S SPECIFICATIONS, UTILIZING PROPER SIZE AND TYPE OF DRILL, CLEANING HOLE, DRIVING AND TIGHTENING BOLT.
- 5. SPECIAL INSPECTION OF ALL EPOXY AND EXPANSION ANCHORS IS REQUIRED.

ROUGH CARPENTRY AND PLYWOOD:

ALL FRAMING PER IBC CHAPTER 23. FRAMING LUMBER SHALL COMPLY WITH THE 2018 EDITION OF THE NATIONAL DESIGN SPECIFICATION. MAXIMUM MOISTURE CONTENT SHALL NOT EXCEED 19%. ALL SAWN LUMBER SHALL BE STAMPED WITH THE GRADE MARK OF AN APPROVED LUMBER GRADING AGENCY. ALL SAWN LUMBER SHALL BE DOUGLAS FIR-LARCH WITH THE FOLLOWING MINIMUM PROPERTIES:

WOOD TYPE

2 X 6 OR LARGER ----- D.F. #2

BEAMS, LEDGERS AND TOP PLATES
WIDTH 4" OR LESS ------ D.F. #2
WIDTH GREATER THAN 4" ----- D.F. #1

STUDS, PLATES AND BLOCKING 2 X 6 OR LARGER ----- D.F. #2

OSTS 6 X 6 OR LARGER ----- D.F. #1

2. ALL PLYWOOD SHALL CONFORM TO PS-I OR APA PRP-I08, SHALL HAVE AN EXTERIOR OR EXPOSURE I CLASSIFICATION AND SHALL BEAR THE STAMP OF AN APPROVED TESTING AGENCY. LAY UP PLYWOOD WITH FACE GRAIN PERPENDICULAR TO SUPPORTS AND STAGGER JOINTS. ON ROOFS WHERE PLYWOOD IS LAID UP WITH FACE GRAIN PARALLEL TO SUPPORTS, USE A MINIMUM OF 5-PLY PLYWOOD. AT SHEARWALLS, PROVIDE 2X BLOCKING AT ALL UNSUPPORTED EDGES. ALL NAILING, COMMON NAILS. WHERE SCREWS ARE INDICATED FOR WOOD TO WOOD ATTACHMENTS, USE WOOD SCREWS. ALL PLYWOOD SHALL BE OF THE FOLLOWING NOMINAL THICKNESS, SPAN/INDEX RATIO AND SHALL BE ATTACHED AS FOLLOWS UNLESS NOTED OTHERWISE:

SPAN/INDEX EDGE INTERMEDIATE USE THICKNESS RATIO ATTACHMENT ATTACHMENT

ROOF ----- 1/2" ----- 32/16 ---- 8d AT 6" O.C. ---- 8d AT 12" O.C.

FLOOR ----- 3/4" T & G --- 48/24 ---- SCREWS AT 6" O.C.----SCREWS AT 10" O.C.

SHEAR WALL --- 3/8" -----24/0 --- 8d @ 6" O.C. U.N.O.- 8d @ 12" O.C. U.N.O.

SCREWS AT FLOOR SHEATHING SHALL BE #8 X 2 1/2" LONG FOR SHEATHING LESS THAN I" THICK. ALL FLOOR SHEATHING SHALL BE GLUED TO JOISTS WITH AN APA AFG-01 QUALIFIED GLUE.

- 3. AMERICAN PLYWOOD ASSOCIATION PERFORMANCE RATED SHEATHING MAY BE USED AS AN ALTERNATE TO PLYWOOD WITH PRIOR WRITTEN APPROVAL OF ARCHITECT. WHERE ROOF IS TO BE GUARANTEED, IT MAY NOT BE USED WITHOUT PRIOR APPROVAL FROM BUILT-UP ROOF SYSTEM MANUFACTURER. RATED SHEATHING SHALL COMPLY WITH I.C.B.O. REPORT NER-108, HAVE AN EXTERIOR OR EXPOSURE I CLASSIFICATION, AND SHALL HAVE A SPAN RATING EQUIVALENT TO OR BETTER THAN THE PLYWOOD IT REPLACES. ATTACHMENT AND THICKNESS (WITHIN 1/32") SHALL BE THE SAME AS THE PLYWOOD IT REPLACES. INSTALL PER MANUFACTURER'S RECOMMENDATIONS.
- 4. DO NOT NOTCH, DRILL OR SPLICE JOISTS, BEAMS OR LOAD BEARING STUDS WITHOUT PRIOR APPROVAL OF THE STRUCTURAL ENGINEER THRU THE ARCHITECT. DOUBLE UP FLOOR JOISTS AND BLOCKING UNDER PARTITIONS. DOUBLE UP JOISTS BELOW MECHANICAL EQUIPMENT. PROVIDE 2" SOLID BLOCKING AT MIDSPAN AND AT SUPPORTS
- 5. STUD WALLS SHALL BE 2 X 6 AT 16" O.C. U.N.O. ON PLANS. BOTTOM PLATE ANCHOR BOLTS AT CONCRETE FOUNDATIONS SHALL BE 1/2" DIAMETER PLACED AT 4'-0" O.C. MAXIMUM U.N.O. ANCHOR BOLTS SHALL BE PLACED AT ALL JAMBS, CORNERS, INTERSECTIONS AND ENDS OF WALLS. ALL LUMBER ON CONCRETE OR MASONRY FOUNDATIONS SHALL BE PRESSURE TREATED WOOD STAMPED BY AN APPROVED AGENCY.
- 6. DOUBLE UP STUDS AT JAMBS AND AS REQUIRED UNDER BEAMS IN BEARING WALLS. EVERY OTHER STUD OF WOOD FRAME BEARING WALL SHALL HAVE A SIMPSON H3 ANCHOR TOP AND BOTTOM, EXCEPT AT THOSE WALLS WHERE PLYWOOD SHEATHING IS NAILED DIRECTLY TO THE TOP AND BOTTOM PLATES. PROVIDE 2 X SOLID BLOCKING AT MID-HEIGHT OF BEARING STUD WALLS.
- 7. ALL NAILING NOT NOTED SHALL BE ACCORDING TO TABLE 2304,10.1 OF THE INTERNATIONAL BUILDING CODE. ALL NAILS SHALL BE WITH COMMON NAILS, WOOD CONNECTORS SHALL BE AS MANUFACTURED BY SIMPSON STRONG-TIE COMPANY, INC. OR OTHER MANUFACTURER WITH CURRENT AND EQUIVALENT I.C.B.O. APPROVAL, ALL NAIL HOLES IN CONNECTORS SHALL BE FILLED WITH NAIL OF THE LARGEST SIZE INDICATED IN THE MANUFACTURER'S CATALOG U.N.O.
- DO NOT SUSPEND ANY SPRINKLERS, PIPING, CEILINGS OR ANY OTHER ITEMS FROM 2X
 JOISTS IN PANELIZED ROOF SYSTEM.
- ALL FABRICATION SHALL BE PERFORMED ON THE PREMISES OF A FABRICATOR REGISTERED AND APPROVED TO PERFORM SUCH WORK WITHOUT SPECIAL INSPECTION.

WOOD STAIRS:

- I. WOOD STAIRS SHALL BE ASSEMBLED AND FABRICATED BY QUALIFIED CARPENTERS. ALL FRAMING IS PER IBC CHAPTER 23. MAXIMUM MOISTURE CONTENT SHALL NOT EXCEED 16%.
- WOOD STAIR STRINGERS SHALL BE OF THE FOLLOWING MINIMUM SIZE AND SPECIES: SOLID SAWN WOOD STRINGERS: 2X12 HF #2.
 ENGINEERED WOOD STRINGERS: 1 3/4" WIDE X 11 1/4" DEEP WITH A MINIMUM Fb = 2600 PSI AND MINIMUM MODULUS OF ELASTICITY OF 1700000 PSI.
- 3. WOOD STAIR STRINGERS AS DETAILED ABOVE MAY BE USED FOR THE FOLLOWING SPANS AS MEASURED ALONG THE SLOPE OF THE STRINGER:
- SOLID SAWN WOOD STRINGERS: 1 AT 12" O.C. MAXIMUM SPAN = 8'6".
 2 AT 12" O.C. MAXIMUM SPAN = 12'6".
- B. ENGINEERED WOOD STRINGERS: 1 AT 12" O.C. MAXIMUM SPAN = 11'6".

 2 AT 12" O.C. MAXIMUM SPAN = 14'6".

 IF THE PROJECT CONDITIONS EXCEED THOSE NOTED ABOVE, AN ENGINEERED DESIGN COMPLYING WITH THE IBC SHALL BE SEALED BY A REGISTERED ENGINEER AND SUBMITTED FOR REVIEW PRIOR TO ASSEMBLY.
- MAXIMUM NOTCH (AS MEASURED PERPENDICULAR TO THE STRINGER PLANE) SHALL NOT EXCEED 5 3/4" FOR THE STRINGER SPANS SHOWN ABOVE.
- 5. STAIR TREADS SHALL COMPLY WITH THE FOLLOWING MINIMUM PROPERTIES: 3/4" PLYWOOD (OR OSB), 48/24 SPAN RATING OR IX HEM FIR #2 FLAT WOOD DECKING.
- ATTACHMENT TO ADJACENT WOOD OR MASONRY WALLS SHALL BE PER TYPICAL DETAILS.
 COORDINATE ATTACHMENT WITH ARCHITECTURAL FOR SOUND TRANSMISSION PRIOR TO
 CONNECTING STAIR STRINGERS TO ADJACENT WALLS.
- FOR STAIR DIMENSIONS, INCLUDING RISE AND RUN AND NON-SLIP SURFACES, SEE ARCHITECTURAL DRAWINGS.

PLYWOOD WEB JOIST (TJI TYPE):

- 1. THE JOIST MANUFACTURER SHALL BE RESPONSIBLE FOR THE COMPLETE DESIGN, FABRICATION AND ERECTION PROCEDURES OF ALL JOISTS, BRIDGING AND/OR BLOCKING PANELS, STIFFENERS, HANGERS, BRACING, ETC. FOR A COMPLETE INSTALLATION OF THE JOIST SYSTEM. ALL JOISTS AND CONNECTORS SHALL HAVE A CURRENT I.C.B.O. APPROVAL. CONNECTIONS AND BEARING MATERIAL TO BE SHOP CONNECTED TO JOISTS AND DESIGNED AND FURNISHED BY JOIST FABRICATOR.
- 2. JOIST SIZES ARE INDICATED ON PLANS AND SCHEDULES. TYPICAL JOIST DESIGNATIONS ARE AS FOLLOWS: 11 7/8" PLYWOOD WEB JOIST - 70/40 WHERE 11 7/8" INDICATES JOIST DEPTH, 70 INDICATES THE TOTAL LOAD (PLF), 40 INDICATES THE TOTAL LIVE LOAD (PLF). THE UNIFORM LOADS DO NOT INCLUDE SPECIAL OR ADDITIONAL LOADS NOTED ON THE PLANS OR DETAILS. THE ROOF LOAD DURATION FACTOR IS 1.25.
- 3. LIMIT TOTAL LOAD DEFLECTIONS TO SPAN/240 AT SIMPLE SPANS U.N.O. LIMIT LIVE LOAD DEFLECTIONS TO SPAN/360 AT SIMPLE SPANS U.N.O. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS WITH DESIGN CALCULATIONS SEALED BY AN ARIZONA REGISTERED CIVIL OR STRUCTURAL ENGINEER FOR REVIEW PRIOR TO MANUFACTURE.
- 4. ADDITIONAL JOISTS SHALL BE SUPPLIED AS REQUIRED TO SUPPORT MECHANICAL
- ALL FABRICATION SHALL BE PERFORMED ON THE PREMISES OF A FABRICATOR REGISTERED AND APPROVED TO PERFORM SUCH WORK WITHOUT SPECIAL INSPECTION.

GLUED-LAMINATED BEAMS (GLULAM):

- I. GLUED-LAMINATED BEAMS SHALL BE DOUGLAS FIR LARCH WITH THE FOLLOWING MINIMUM PROPERTIES: Fb=2,400 PSI, Fv=190 PSI, Fc (PERPENDICULAR) = 650 PSI, Ev=1,800,000 PSI. BEAMS CANTILEVERING OVER SUPPORTS SHALL HAVE THE SPECIFIED MINIMUM PROPERTIES TOP AND BOTTOM.
- CAMBER AS SHOWN ON DRAWINGS. IF NO CAMBER IS SPECIFIED, PROVIDE STANDARD CAMBER USING A RADIUS OF 5000 FEET.
- 3. ALL BEAMS SHALL BE FABRICATED USING WATERPROOF GLUE. FABRICATION AND HANDLING PER LATEST AITC AND WCLA STANDARDS. BEAMS SHALL BEAR GRADE STAMP AND AITC STAMP AND CERTIFICATE. APPEARANCE GRADE BEAMS SHALL BE USED IF INDICATED ON ARCHITECTURAL DRAWINGS.

SPECIAL INSPECTION:

PER IBC CHAPTER 17, SPECIAL INSPECTION IS REQUIRED FOR THE FOLLOWING ITEMS:

- STEEL CONSTRUCTION: PER IBC SECTIONS 1705.2 AND TABLE 1705.2.3 INCLUDING WELDING.
- 2. MASONRY CONSTRUCTION: PER IBC SECTION 1705.4.
- EPOXY AND EXPANSION ANCHORS: REVIEW INSTALLATION PROCEDURES PER SPECIFIED ICBO REPORT.
- 4. DUTIES AND RESPONSIBILITIES OF THE SPECIAL INSPECTOR:
- WITH THE APPROVED DESIGN DRAWINGS AND SPECIFICATION.

 B) THE SPECIAL INSPECTOR SHALL FURNISH INSPECTION REPORTS TO THE BUILDING OFFICIAL, AND TO THE ENGINEER OR ARCHITECT OF RECORD. ALL DISCREPANCIES SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE CONTRACTOR FOR CORRECTION, THEN, IF UNCORRECTED, TO THE DESIGN

A) THE SPECIAL INSPECTOR SHALL OBSERVE THE WORK ASSIGNED FOR CONFORMANCE

AUTHORITY AND THE BUILDING OFFICIAL.

C) UPON COMPLETION OF THE ASSIGNED WORK THE ENGINEER OR ARCHITECT SHALL COMPLETE AND SIGN THE APPROPRIATE FORMS CERTIFYING THAT TO THE BEST OF HIS KNOWLEDGE THE WORK IS IN CONFORMANCE WITH THE APPROVED PLANS AND SPECIFICATIONS, AND THE APPLICABLE WORKMANSHIP PROVISIONS OF THE





Revision

ENERAL PRI ICTI IRAI NOTI

GARIGAN RESIDENCE
GUEST HOUSE
7288 North Cathedral Rock Roa

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711 East 9th Street
Tucson, Arizona 85719
520.903.2323 phone
www.a23studios.com



Project 2408

Date 1.30.

Scale Note

Sheet

S0.0



General Foundation Notes

Foundation Legend

A. LOCATIONS OF CONTROL JOINTS OR SCORED JOINTS FOR ALL SLABS SHALL BE AS SHOWN ON THE DRAWINGS OR AS OTHERWISE COORDINATED w/ THE OWNER & SHALL ENCLOSE A MAXIMUM OF 225 S.F. PROVIDE A 3/4" TOOLED EDGE @ ALL EXPOSED CORNERS.

CONCRETE HOUSE SLAB

CMU WALL / STEMWALL

CONCRETE PATIO SLAB

- DO NOT USE A CURING COMPOUND ON ANY FINISHED CONCRETE SURFACE. CURING SHALL BE ACCOMPLISHED BY WATER TREATMENT METHOD.
- C. ALL EXTERIOR GRADES SHALL SLOPE AWAY FROM BUILDING. ALL SITE GRADING SHALL BE ACCOMPLISHED TO ELIMINATE ANY WATER POCKETS ADJACENT TO THE BUILDING FOUNDATION.
- D. SOLID GROUT ALL MASONRY STEMS.
- NOT USED.
- FOR ADDITIONAL FOOTINGS SEE DETAILS SHEET \$2.0.

Foundation Keynotes



- 5" CONCRETE SLAB W/ #4'S @ 24" O.C. OVER 4" MINIMUM COMPACTED FILL. NOTE: PROVIDE COMPLETE SOIL POISONING TREATMENT FOR TERMITE PROTECTION & PROVIDE A MINIMUM 5 YEAR WRITTEN GUARANTEE.
- 4" CONCRETE SLAB @ MECHANICAL / UTILITY ENCLOSURE. SLOPE TOWARD GATE OPENING AS SHOWN FOR DRAINAGE.
- CONCRETE CONTROL JOINTS AS SHOWN (@ 15'-0" O.C. MAX). TOOLED @ EXPOSED LOCATIONS.
- DEPRESS SLAB 4" @ SHOWER LOCATION.
- EXTERIOR STEP THRESHOLD. SEE DETAILS.
- 8" MASONRY HOUSE STEMWALL W/ 6" TOP BLOCK TYP UNO. SEE DETAILS. MASONRY PATIO / RETAINING WALL. ALIGN WITH EXISTING WHERE
- 8. BLOCKOUT IN CONCRETE SLAB FOR MECHANICAL EQUIPMENT LINE. VERIFY EXACT SIZE / LOCATION W/ MECHANICAL CONTRACTOR.
- UNDERGROUND CONDENSATE LINE CONDUIT PER MECHANICAL PLAN. 10. INTERIOR BEARING WALL WHERE INDICATED. SEE WALL TYPES / DETAILS.
- 11. PLUMBING FIXTURE LOCATION, TYP. VERIFY EXACT LOCATION AND
- 12. 2 #4 x 4'-0" LONG REBAR CENTERED IN SLAB TYP. @ REENTRANT
- 13. CONCRETE SLAB AT OUTDOOR CABINET / BBQ LOCATION. COORDINATE EXTENTS AND REQUIREMENTS.
- 14. EXISTING HOUSE SLAB AND FOUNDATION TO REMAIN.

ADDITIONAL NOTES:

- PROVIDE UG SLEEVING PER OWNER / ARCHITECT. VERIFY AND COORDINATE
- ALL REQUIREMENTS.

 FOR COLUMNS / FOOTING SEE SCHEDULES THIS SHEET.

 HOLDOWNS HTT4 W/ 18-16d SINKER NAILS INTO DOUBLE STUD & 5/8" DIA.

 THREADED ROD X 5" EMBED INTO SIMPSON 'SET' ADHESIVE.*

 SEE DETAIL 18/S2.0

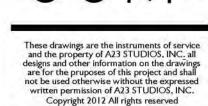
*EPOXY INSTALLATION REQUIRES SPECIAL INSPECTION.

Foundation Schedules

	COLUMN SCHEDULE							
MARK	SIZE	BASE CONNECTION	REMARKS					
CI	6 X 6 (DF#1)	CUSTOM STEEL	SEE DETAIL 8 / S2.0					

* SEE SHEET A2.0 FOR SHEAR WALL LOCATIONS ** USE 2-2 X 6 UNDER ALL BEAMS / HEADERS UNO.

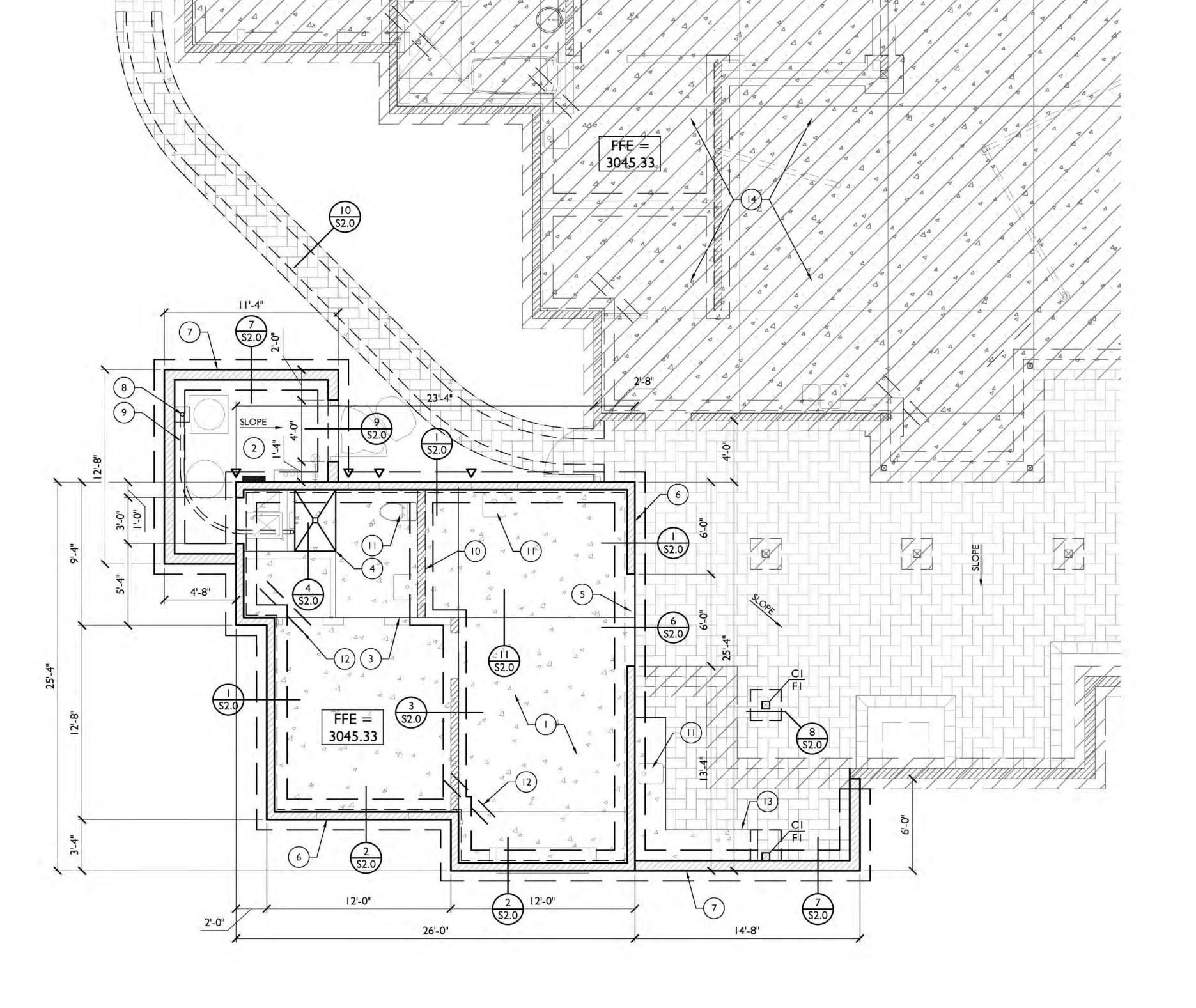
FOOTING SCHEDULE							
MARK	SIZE	REINFORCING					
FI	2'-0" SQ x 12" THICK	3 - #4 EACH WAY					





Date

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THESE DOCUMENTS ESTABLISH THE GENERAL STANDARDS OF QUALITY AND DETAIL FOR DEVELOPING A NEGOTIATED CONSTRUCTION CONTRACT.

6" CLR., TYP.

6" —

4'-O" OR MORE

INTERSECTION

CORNER

TYP CONCRETE CONTROL JOINTS

KEYNOTES:

SECTION

KEYNOTES: I. CONCRETE SLAB ON GRADE. 2. SAWCUT - I/8" WIDE X I/4 SLAB THICKNESS IN DEPTH. CUT SHALL BE MADE SOON ENOUGH TO PREVENT SHRINKAGE CRACKING BUT NOT SO SOON AS TO CAUSE SPALLING OF THE CONCRETE WHILE SAWING, WORK MUST BE ACCOMPLISHED WITHIN 24 HOURS OF CONCRETE PLACEMENT.

CONTINUOUS KEY. KEYED JOINTS NEED ONLY OCCUR AT EXPOSED EDGES DURING PLACEMENT UNLESS SPECIFICALLY NOTED ON THE PLANS. "TOOL WET JOINT", "ZIP STRIP", ETC. SHALL MATCH SAWCUT REQUIREMENTS.

I. AT PIPE THRU STEMWALL PROVIDE

2. AT PIPE THRU FOOTING STEP DOWN

3. AT PIPE DIRECTLY BELOW FOOTING

MATERIAL ALL AROUND.

BOTTOM OF TRENCH.

95% MAXIMUM DENSITY.

METAL SLEEVE AND 1 1/2" COMPRESSIBLE

FOOTING TO CLEAR PIPE. SEE STEPPED

FOOTING DETAIL AND NOTE BELOW.

PROVIDE I 1/2" COMPRESSIBLE MATERIAL

ALL AROUND AND CAST FOOTING TO

BACKFILL AND COMPACT TRENCH TO

FOR INFORMATION NOT SHOWN, SEE

CORNER BARS SAME SIZE AND SPACING

CONCRETE STEMWALL OR FOOTING.

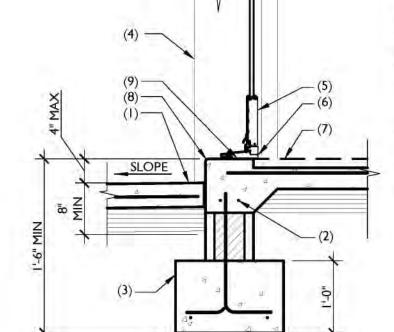
3. REINFORCING PER PLANS AND / OR

GSN (24" MIN.)

DETAILS.

WALL FOUNDATION DETAILS.

4. AT PIPE 4'-0" OR MORE BELOW FOOTING



1'-6"

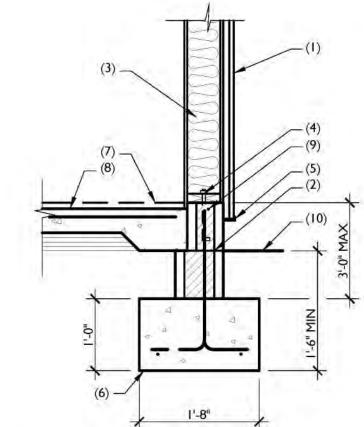
SCALE 3/4" = 1'-0"

EXTERIOR STEP THRESHOLD

 CONCRETE PATIO SLAB PER PLAN. 2. 2 - #4'S CONTINUOUS CONCRETE FOOTING. 4. WALL BEYOND WINDOW / DOOR SYSTEM PER PLANS. DOOR THRESHOLD. VERIFY MATERIAL TRANSITION LOCATION / ELEVATION REQUIREMENTS. 7. SLAB DEPRESSION / FINISH FLOOR MATERIAL AS OCCURS, COORDINATE REQUIREMENTS. . TOOLED EDGE AS OCCURS. 9. STAGGERED SEALANT PER MANUFACTURERS SPECIFICATION.

KEYNOTES:

INSTALL MOISTOP FLASHING (BY FORTIFIBER CORP) OR APPROVED EQUAL AROUND ALL WINDOW AND DOOR OPENINGS TYP.



KEYNOTES:

 PAINTED STUCCO FINISH ON I" FOAM BOARD OVER 3/8" MINIMUM PLYWOOD SHEATHING TYP. (UNO / SEE SHEAR WALL SCHEDULE).

. SOLID GROUTED 8" MASONRY STEM W/ 6" TOP BLOCK W/ #5'S @ 48" O.C. (ALT BENDS), LAP 30" MIN. 2X6 WOOD STUDS @ 16" O.C. W/

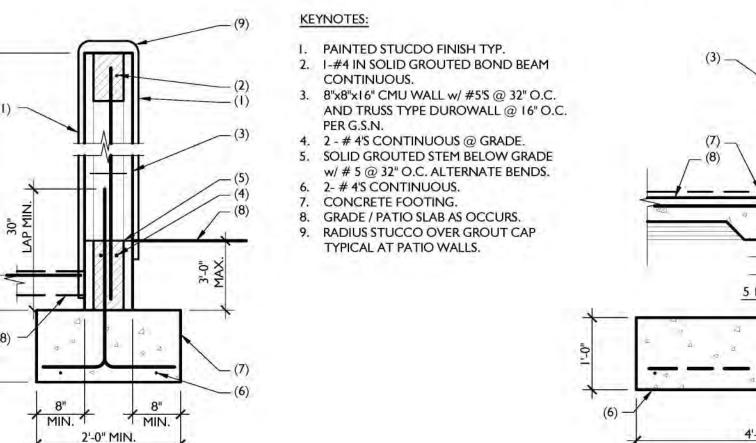
MINIMUM R-19 BATT INSULATION AND 1/2" GYPBOARD TYP. 2X PRESSURE TREATED SILL PLATE W/ 1/2" Ø AB'S @ 48" O.C. MAX (UNO /

SEE SHEARWALL SCHEDULE). WEEP SCREED STUCCO STOP (4" MIN ABOVE GRADE / 2" MIN ABOVE HARDSCAPE).

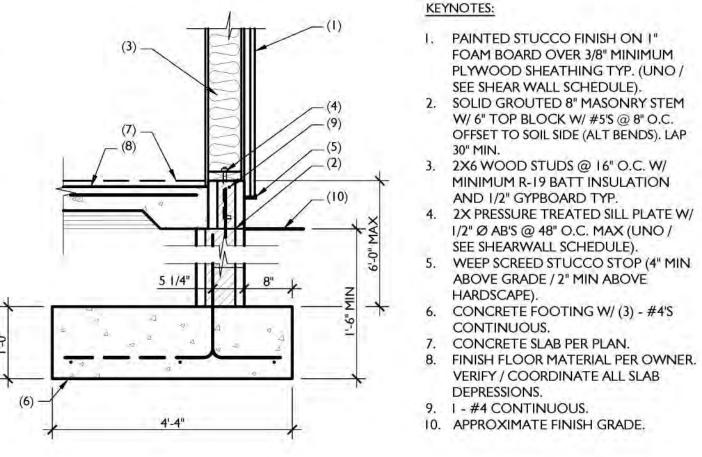
. CONCRETE FOOTING W/ (2) - #4'S CONTINUOUS. 8. FINISH FLOOR MATERIAL PER OWNER. VERIFY / COORDINATE ALL SLAB

CONCRETE SLAB PER PLAN. DEPRESSIONS. 1 - #4 CONTINUOUS. APPROXIMATE FINISH GRADE.

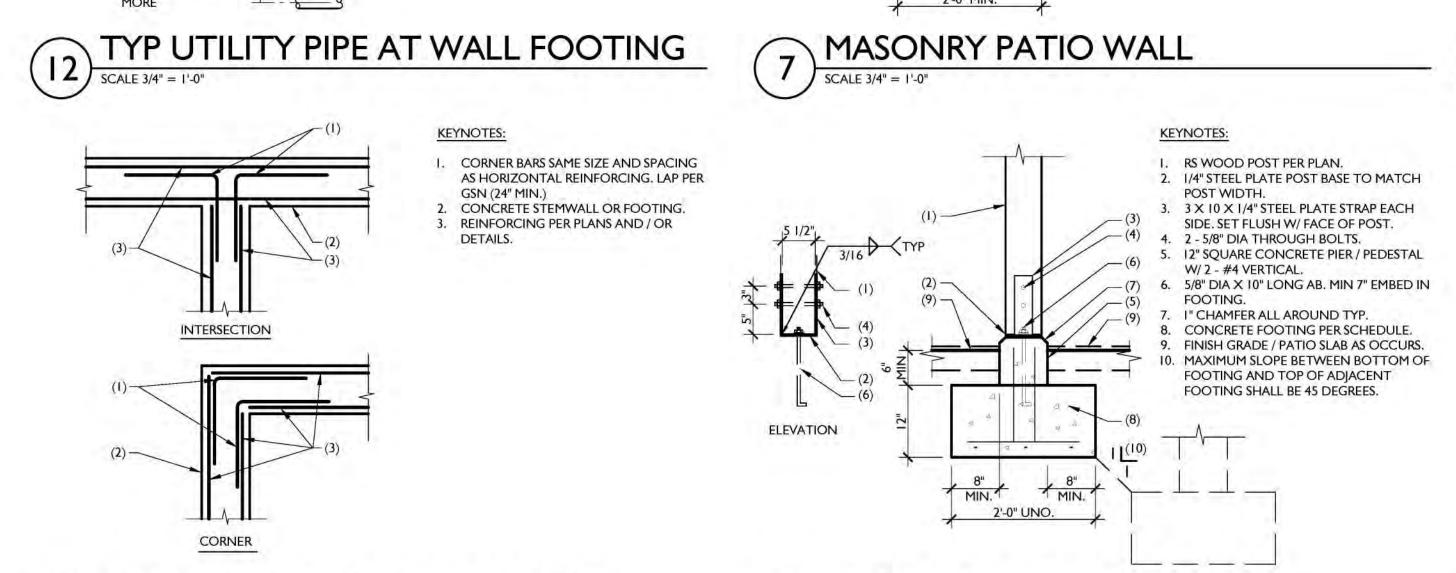
Revisions



EXTERIOR BEARING WALL (0' - 3'-0")



MASONRY PATIO WALL SCALE 3/4" = 1'-0"



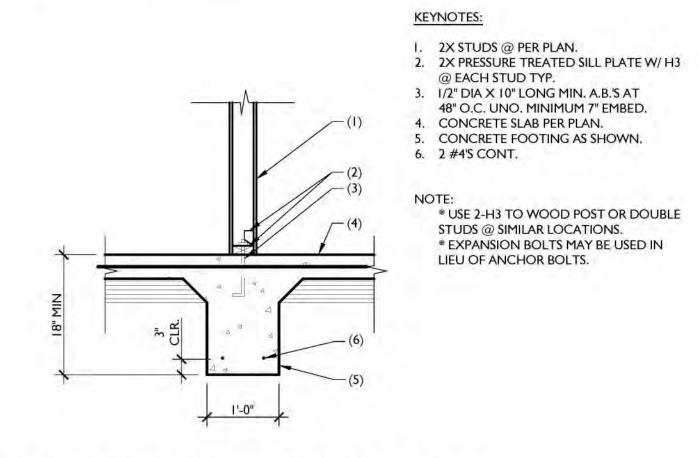
KEYNOTES:

TOOLED EDGE.

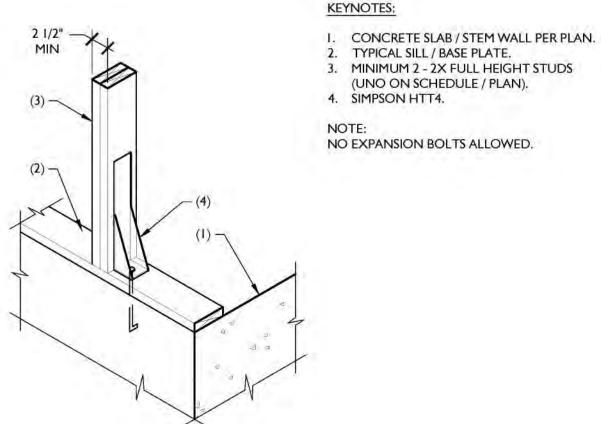
CONCRETE PATIO SLAB PER PLAN.

FINISHED GRADE AS OCCURS.

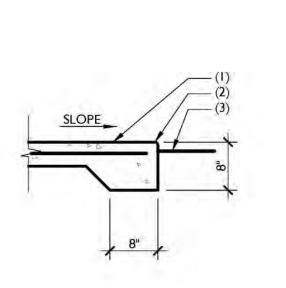
EXTERIOR BEARING WALL (3'-1" - 6'-0")



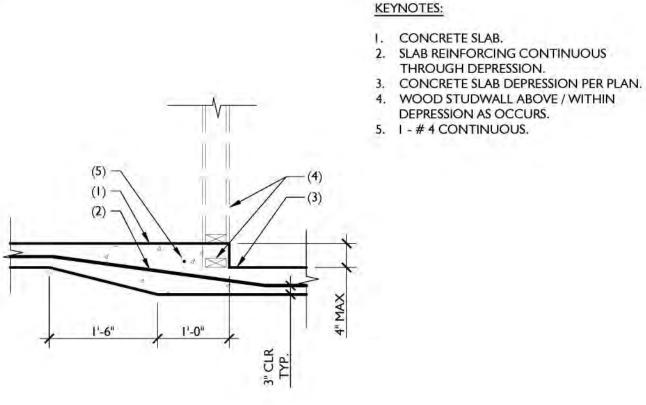
TYP PLAN REBAR REINFORCING $(13) \frac{11PPL}{SCALE 3/4" = 1'-0"}$



WOOD POST FOOTING

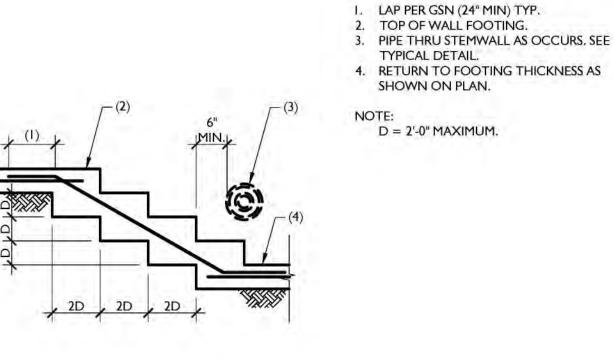


INTERIOR BEARING WALL SCALE 3/4" = 1'-0"



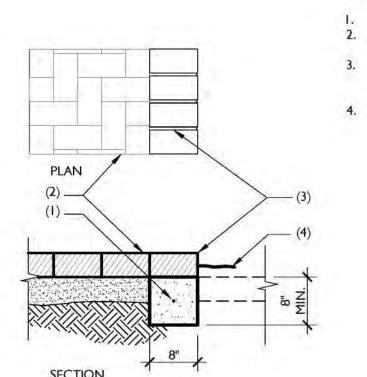
TYP HOLDDOWN DETAIL NTS

KEYNOTES:

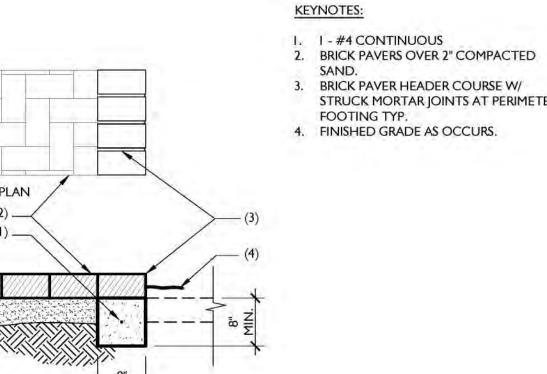


TYP STEP FOOTING

CONCRETE TOEDOWN SCALE 3/4" = 1'-0"



CONCRETE SLAB DEPRESSION SCALE 3/4" = 1'-0"



STRUCK MORTAR JOINTS AT PERIMETER

BRICK PAVER HEADER

SCALE 3/4" = 1'-0"

NOT USED
NTS

N RESIDENCE HOUSE

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Framing Legend

BOTTOM OF HEADER OR BEAM

BOTTOM OF BEAM TOP OF PLATE T.O.W. TOP OF WALL TOP OF LEDGER

> --- WOOD LEDGER == WOOD HEADER ----- WOOD BEAM

WOOD FRAME BEARING WALL

General Framing Notes

- ALL HEIGHTS OCCUR ABOVE ITS OWN FFE UNO.
- ALL LUMBER TO BE DF#2 OR BETTER EXCEPT AS NOTED IN GSN. ROOF SHEATHING SHALL BE 15/32" APA RATED SHEATHING WITH 8d NAILS. NAIL @ 6" O.C. DIAPHRAGM BOUNDARIES / 6" O.C. PLYWOOD EDGES / 12" O.C. INTERMEDIATE EXCEPT AS NOTED IN GSN.
- D. VERIFY HEIGHTS / DIMENSIONS OF ALL DOOR / WINDOW OPENINGS.
- USE 8 16d NAILS EACH SIDE OF TOP PLATE SPLICES.
- F. SEE DETAIL 13 / \$4.0 FOR TYPICAL HEADER INFORMATION.

Framing Keynotes



- 2 X 6 @ 16" O.C. TYP FRAME BEARING WALL UNO. 2 X 6 T&G WOOD DECK AT TILE PORCH ROOF TYP. NOT USED.
- EXISTING HOUSE FRAMING TO REMAIN.
- CONT. CS20 STRAP TO HEADER AND BLOCKING IN SHEARWALLS W/ 6 16d SINKERS INTO EA/ SHEARWALL AND 12" O.C. TO HEADER.

Framing Schedules

JOIST SCHEDULE						
MARK	SIZE	SPACING	COMMENT			
J-I	11-7/8" TJI 110	24" O.C.	IUS 1.81 / 11.88			
J-2	4" × 8"	36" O.C. MAX				

BEAM SCHEDULE						
MARK	SIZE	CAMBER	COMMENT			
B-1	6 X 10		4			

HEADER SCHEDULE							
MARK	SIZE	BEARING	COMMENT				
H-I	(3) 2x6	2 - 2x6	TYP. U.N.O.				
H-2	(3) 2x8	2 - 2x6					

COLUMN SCHEDULE							
MARK	SIZE	BASE CONNECTION	REMARKS				
CI	6 X 6 (DF#1)	CUSTOM STEEL	SEE DETAIL 8 / S2.0				

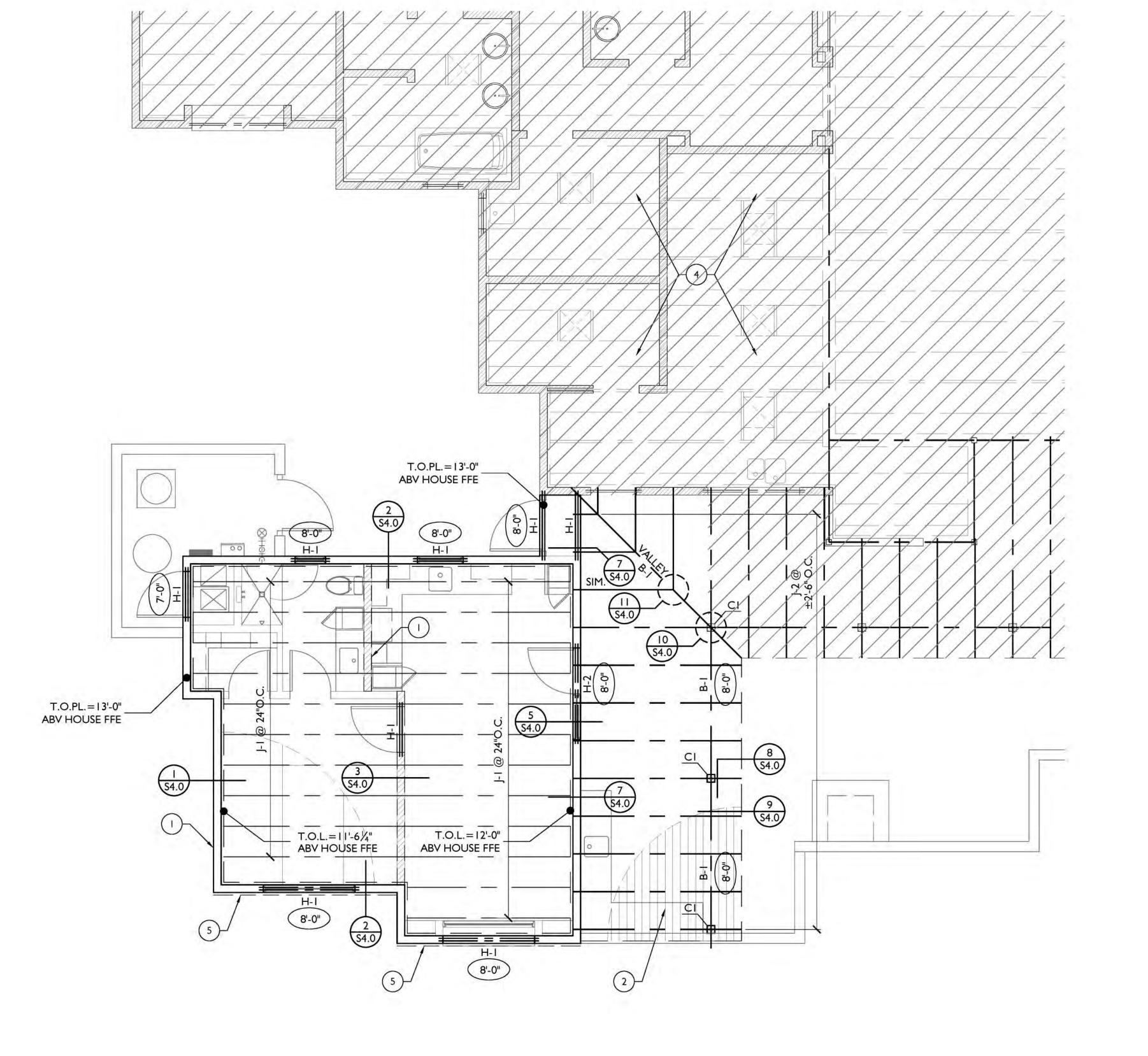
SEE SHEET A2.0 FOR SHEAR WALL SCHEDULE. USE 2-2 X 6 UNDER ALL BEAMS / HEADERS UNO.

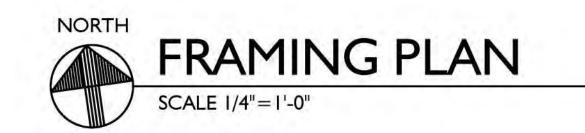
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Date

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1. PLYWOOD SHEATHING. 2. NOT USED. W/ 'A35' @ EACH STUD.

12. SIMPSON JOIST HANGER.

2 X 12 LEDGER W/ 3-16d & SIMPSON 'H2.5' EDGE NAILING.

2X BLOCKING W/ 3-16d LEDGER TO BLOCKING 6. STUCCO FINISH ON I" FOAM BOARD. 2X WOOD STUD WALL PER PLAN.
 PLYWOOD CANT / CRICKET. 9. BUILT-UP ROOFING ON SHEATHING PER

10. JOIST PER FRAMING PLAN. 11. GYPSUM BOARD PER PLAN.

DET.

AMING

JOIST TO VALLEY BEAM

SCALE: 3/4" = 1'-0"

KEYNOTES:

KEYNOTES:

2 X JAMB STUDS CONTINUOUS TO TOP

2. 16d NAILS AT 12" O.C. - STAGGER AT

BUILT-UP HEADERS.

2-16d NAILS TYPICAL.

NUMBER. 6. HEADER.

LINTEL AT LINTEL # OF JACK # OF JACK STUDS STUDS STUDS
OR SHEARWALL WALLS BEARING NON-BRG STUDS

0'-0" TO 4'-0" 2 - 2 × 8 2 - 2 × 4 1 1 2 4'-1" TO 6'-0" 2 - 2 × 10 2 - 2 × 6 2 1 3 6'-1" TO 8'-0" 2 - 2 × 12 2 - 2 × 8 2 1 3 SCHEDULE APPLIES UNLESS OTHERWISE NOTED ON FRAMING PLANS.

TYPICAL WOOD STUD WALL

PLATE - SEE SCHEDULE FOR NUMBER.

4. 16d NAILS AT 12" O.C. STAGGERED STUD

7. PROVIDE PLYWOOD SPACERS BETWEEN

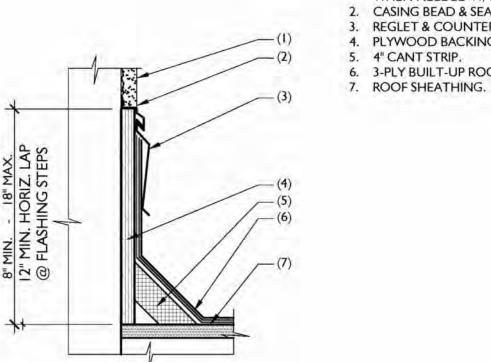
5. 2 X JACK STUDS - SEE SCHEDULE FOR

8. SIMPSON RSP4 EACH JACK STUD TO

MEMBERS AS REQUIRED.

HEADER TYPICAL.

 STUCCO FINISH OVER METAL LATH WHEN NEEDED W/ STUCCO 'J' STOP. 2. CASING BEAD & SEALANT. 3. REGLET & COUNTERFLASHING. 4. PLYWOOD BACKING. 5. 4" CANT STRIP. 3-PLY BUILT-UP ROOFING.

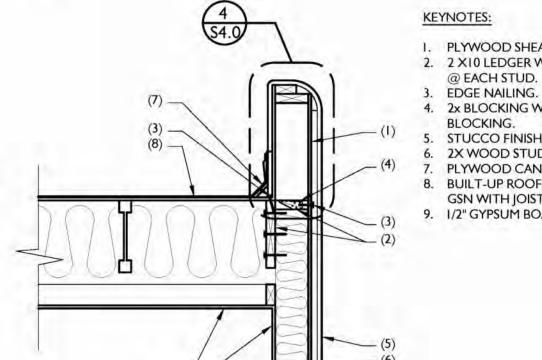


TYPICAL FLASHING
NTS

NOT USED

KEYNOTES:

- I. PLYWOOD SHEATHING. 2 X 12 LEDGER W/ 3-16d A35 & SIMPSON 'H2.5' @ EACH STUD. EDGE NAILING.
- 4. 2X BLOCKING ABOVE AND BELOW WOOD BEAM. NOT USED. 6. 2X STUD WALL PER PLAN. 7. BUILT-UP ROOFING ON SHEATHING PER
- GSN WITH JOIST PER FRAMING PLAN TYP. 8. CLAY ROOF TILE OVER 40# FELT PAPER OVER 2X WOOD DECKING ON WOOD BEAMS PER FRAMING PLAN. 9. FLASHING / COUNTER FLASHING.
- POCKET BEAMS TYP. 11. STUCCO FINISH ON 1" FOAM BOARD. SEE ELEVATIONS FOR LOCATIONS.
- 12. A35 W/ 3-WAY BEND AT EACH SIDE OF BEAM OR JOIST. 13. 1/2" GYPSUM BOARD.



EXTERIOR BEARING WALL

- PLYWOOD SHEATHING. 2 X10 LEDGER W/ 3-16d & SIMPSON 'H2.5' @ EACH STUD.

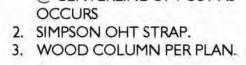
4. 2x BLOCKING W/ 3-16d LEDGER TO STUCCO FINISH ON 1" FOAM BOARD. 2X WOOD STUD WALL PER PLAN. PLYWOOD CANT / CRICKET. BUILT-UP ROOFING ON SHEATHING PER GSN WITH JOIST PER FRAMING PLAN TYP. 9. I/2" GYPSUM BOARD.

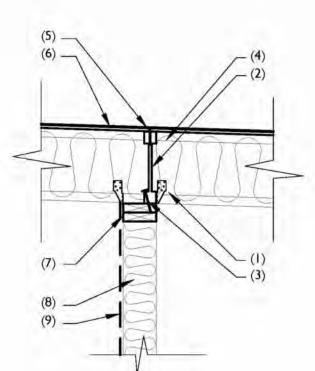
EXTERIOR NON-BEARING WALL

PORCH BEARING SCALE: 3/4" = 1'-0"

KEYNOTES:

1. WOOD BEAM PER PLAN. SPLICE @ CENTERLINE OF POST AS **OCCURS**

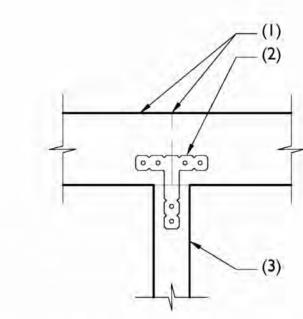




SCALE: 3/4" = 1'-0"

KEYNOTES:

- SIMPSON H2.5 CLIP @ EACH JOIST. WOOD I-JOIST BLOCKING. 3. 3-16d TOE NAILS INTO TOP PLATE. WOOD JOIST PER SCHEDULE. 5. EDGE NAILING 6. SHEATHING & ATTACHMENT PER G.S.N.
- DOUBLE TOP PLATE. 2x WOOD STUD WALL PER PLAN. 9. WALL SHEATHING & ATTACHMENT AS OCCURS.



TYPICAL HEADER

SCALE: 3/4" = 1'-0"

SEE TYPICAL WOOD STUD WALL FRAMING DETAIL.

KEYNOTES:

KEYNOTES:

LOCATION.

- I. WOOD STUDS (SPACING PER PLAN) W/ 2-16d NAILS TO TOP & BOTTOM PLATE. 2. 2 X BLOCKING @ MID HEIGHT OR @ 5'-0"
- 3. HEADER PER SCHEDULE OR PLAN W/ 2-16d NAILS EACH END. I. DOUBLE STUDS PER TYPICAL HEADER
- SCHEDULE CONNECT STUD TO STUD W/ 16d @ 16" O.C. STAGGERED TYP UNO. TRIM STUD TYPICAL ANCHOR BOTS IN 2 X PRESSURE TREATED WOOD PLATE. SEE GSN / DETAILS FOR SIZE AND SPACING.

CONTINUOUS DOULBER TOP PLATE, SPLICE W/ 12-16d EACH SIDE OF SPLICE

1. BUILT-UP ROOFING ON SHEATHING PER GSN WITH JOIST PER FRAMING PLAN TYP.

WEB STIFFENERS AT EACH SUPPORT

2. WOOD I-JOIST PER FRAMING PLAN W/

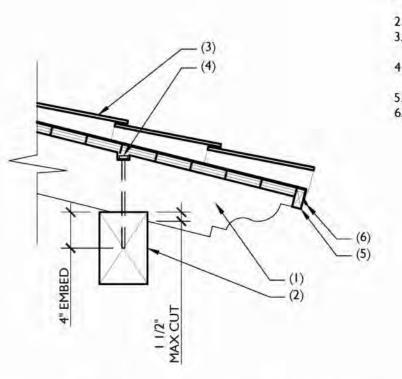
3. 2 X 4 BLOCKING @ EACH LEG SUPPORT

4. 2 X 4 SUPPORT W/ 5-16d NAILS AT EACH

W/ SIMPSON LU HANGERS.

2 X 4'S @ 24" O.C. FURR DOWN GYPBOARD CEILING PER RCP.

8. 2 X WOOD SILL. USE 2 - 2X SILL @ OPENINGS GREATER THAN 8'-0". 9. SIMPSON A34 TYPICAL AS SHOWN. 10. 8-16d NAILS AT TOP PLATE SPLICE.



8 PORCH BEAM TO COLUMN
SCALE: 3/4" = 1'-0"

KEYNOTES:

- I. RS WOOD BEAM PER FRAMING PLAN W/ CORBELED ENDS TO MATCH EXISTING. 2. RS WOOD BEAM PER FRAMING PLAN. 3. CLAY ROOF TILE OVER 40# FELT PAPER OVER 2X WOOD DECKING.
- 4. 1/2 DIA LAG BOLT. COUNTERSINK AT TOP OF BEAM / EMBED AS SHOWN. 5. 2X RS WOOD FASCIA. 6. METAL DRIP EDGE.

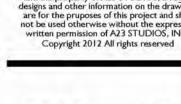
(4)

INTERIOR BEARING WALL

KEYNOTES:

PARAPET CAP @ WOOD STUD WALL

- . STUCCO FINISH ON I" FOAM BOARD TYP, SHEATHING PER GSN / STRUCTURAL
- 3. DOUBLE TOP PLATE. HOLD BACK FOR RADIUS AS SHOWN. 4. 2X WOOD STUD WALL PER PLAN.
- 5. I/2" PLYWOOD TYP @ BACK OF PARAPET. 6. HOLD BACK FOAM BOARD AS SHOWN FOR RADIUS. . FLASHING / COUNTER FLASHING.









Date

Sheet

PLAN

PORCH OVERHANG

SCALE: 3/4" = 1'-0"

KEYNOTES: I. WOOD BEAM PER FRAMING PLAN. MITER BEAMS OVER POST. SIMPSON OHL STRAP. 5/8" DIA LAG BOLT(S). 4. WOOD POST PER PLAN.

ELEVATION CORNER BEAM TO POST

TYPICAL FURR CEILING

SCALE: 3/4" = 1'-0"

5 NOT USED

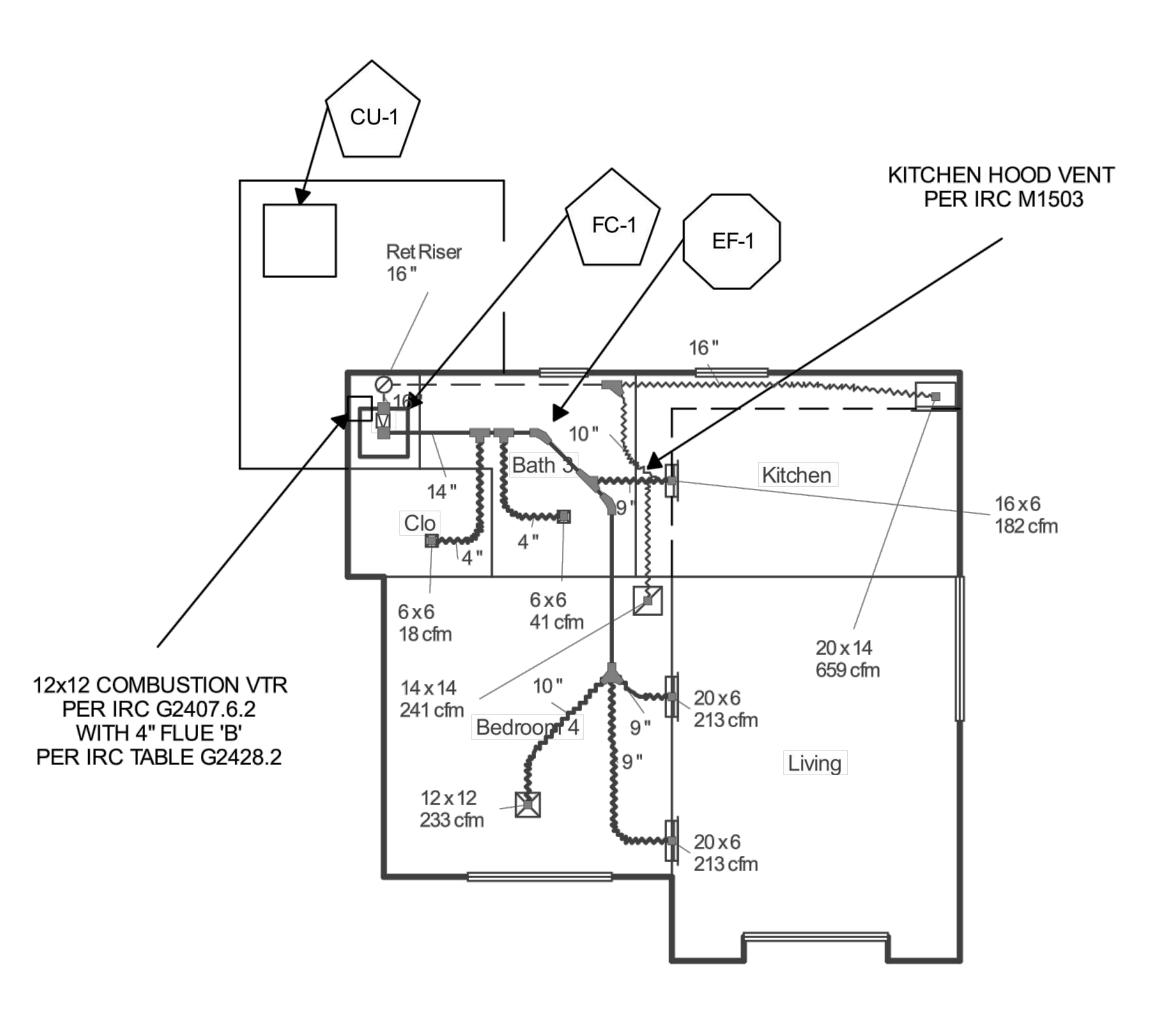
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N RESIDENCE HOUSE

ed 85







NOTE:
THESE DOCUMENTS ESTABLISH THE GENERAL
STANDARDS OF QUALITY AND DETAIL FOR
DEVELOPING A NEGOTIATED CONSTRUCTION
CONTRACT.

Mechanical Notes

I. ALL WORK TO BE PER 2018 IRC WITH LOCAL AMENDMENTS, SMACNA AMENDMENTS, AND ASHRAE STANDARDS.

2. HVAC SYSTEM DESIGN EQUIPMENT SIZING AND INSTALLATION SHALL BE PER PLAN, MANUAL J AND S CALCULATIONS, AND IRC CHAPTER 14 REQUIREMENTS. DUCT SYSTEMS SERVING HEATING, COOLING, AND VENTILATION SYSTEMS SHALL BE IN ACCORDANCE WITH PROVISIONS OF SECTION M1601, ACCA MANUAL D GUIDELINES, AND MANUFACTURER INSTALLATION INSTRUCTIONS.

3. PROVIDE R-8 DUCT INSULATION (SUPPLY RETURN) AND SEAL ALL DUCTS, AIR HANDLERS, AND FILTER BOXES PER N I 103.3.

4. ACCESS TO APPLIANCES LOCATED IN ATTICS SHALL BE PROVIDED WITH OPENINGS AND CLEAR / UNOBSTRUCTED PASSAGEWAYS LARGE ENOUGH TO ALLOW REMOVAL OF THE LARGEST APPLIANCE, BUT NOT LESS THAN 22"X30" PER M1305.1.2.

5. A LUMINAIRE CONTROLLED BY SWITCH LOCATED AT THE REQUIRED OPENINGS AND A RECEPTACLE OUTLET SHALL BE INSTALLED AT OR NEAR THE APPLIANCE LOCATIONS IN ACCORDANCE WITH IRC CHAPTER 39 PER M1305.1.2.1.

6. HEAT PUMPS WITH SUPPLEMENTARY ELECTRIC-RESISTANCE HEAT SHALL HAVE CONTROLS PER N | 103.1.2

7EXHAUST DUCTS AND OPENINGS SHALL BE INSTALLED PER CHAPTER 15.
 PRIMARY CONDENSATE DRAIN SHALL TERMINATE 6" ABOVE GRADE AT THE NEAREST SIDE-YARD EXTERIOR WALL FROM APPLIANCE AND BE INSTALLED PER M1411.3. AN AUXILIARY CONDENSATE DRAIN LINE SHALL BE INSTALLED NEAR PRIMARY LINE AND ABOVE THE CLOSEST WINDOW TO BE CONSPICUOUS WHEN DISCHARGING WATER PER M1411.3 FOR ATTIC INSTALLATIONS.

RANGE HOOD (120 CFM MINIMUM) SHALL BE INSTALLED PER M1503.
 CLOTHES DRYER EXHAUST SHALL BE INSTALLED PER M1502.
 ALL DUCT PENETRATIONS THROUGH ROOF SHALL BE FLASHED AND

COUNTER-FLASHED WATERTIGHT.

12. PROVIDE MECHANICAL VENTILATION PER N1103.6 AND M1505.

Specifications

I. FLEXIBLE DUCT TO BE VERSATILE ELP.

2. RECTANGULAR DUCT SHALL BE 26 GAUGE.

3. DUCT PENETRATIONS THRU GARAGE WALLS AND CEILINGS SHALL BE 26 GAUGE.

4. CEILING DIFFUSERS SHALL BE AIRMATE 6000 SERIES.

5. SIDEWALL REGISTERS SHALL BE AIRMATE 90V SERIES.6. RETURN AIR GRILLES SHALL BE AIRMATE E280 SERIES.

Equipment Schedule

SYSTEM NAME = GUEST HOUSE

SYSTEM TYPE: SPLIT GAS / ELECTRIC TWO STAGE

CU-I AMERICAN STANDARD 2.0 TON / 16.00 SEER2 / 80% AFUE

900 CFM @ 0.70" AVSP

AHRI CERTIFICATION #208772797 CONDENSING UNIT: 4A7A6024N1000A GAS FURNACE: AUD2B060A9V3VB

SYSTEM COOLING CAPACITY: 17,000 BTU (SEN) / 4,900 (LAT) @ 105 OD / 75 ID

GAS HEATING CAPACITY (NG): 60,000 BTU (SEN) / 48,000 BTU (OUTPUT)

60,000 BTU (SEN) / 48,000 BTU (OUTPUINDOOR FAN PERFORMANCE:

FC-1: 120V / IPH - 10.5 MCA / 15A FUSE

ELECTRICAL UTILITY REQUIREMENTS: CU-1: 230V / IPH - 13.4 MCA / 20A FUSES

DIMENSIONS PER MANUFACTURER SUBMITTALS

REQUIRED CLEARANCES PER MANUFACTURER AND LOCAL REQUIREMENTS.

Note: The A/C is 6000 btu oversized for the

EXHAUST FAN

EF-I
BROAN PTE511RK 50-80-110 CFM
0.5-0.9 SONES
120V, 0.5A, 6" VENT
DIMENSIONS: 11" X 12" X 7.5"H
CONTINUOUS OPERATION FAN TO MEET FRESH AIR
REQUIREMENTS PER 2018 IRC TABLE M1505.4.3
PROGRAM FOR 50 CFM FOR 36 MINUTES EA/ HOUR

Symbol Legend

SYMBOL	DESCRIPTION
8 1	HOOD VENT THROUGH ROOF / WALL
•	EXHUAST FAN
	4"Ø DRYER VENT THROUGH ROOF
	4"Ø DRYER VENT THROUGH WALL
0	3"-4"-5"-6"Ø FLUE THROUGH ROOF
TG	TRANSFER GRILLE - SIZE VARIES
T S	THERMOSTAT / SENSOR
\otimes	FRESH AIR IN - 6"-10"Ø VENT THROUGH ROOF
	ZONE DAMPER
	TRANSFER GRILLE ABOVE DOOR
	CEILING SUPPLY DIFFUSER - 4 WAY
	CEILING SUPPLY DIFFUSER - I WAY
	SIDEWALL SUPPLY REGISTER
	3"-4"-6"Ø VENT THROUGH WALL
RAG	RETURN AIR GRILLE
\bigcirc	DUCT ELEVATION CHANGE

Mechanical General Notes

- I. ALL MECHANICAL CONTRACTING WORK SHALL COMPLY WITH 2018 IRC, CHAPTERS 12 THROUGH 24 AND / OR MANUFACTURER SPECIFICATIONS AS DEEMED APPLICABLE BY THE BUILDING OFFICIAL IN THE LOCAL IURISDICTION.
- 2. MECHANICAL DESIGN BASED UPON THE FOLLOWING CONDITIONS: 105 OD / 75 ID / 66 ODWB / 63 IDWB (COOLING) AND 32 OD / 70 ID (HEATING).
- ALTERNATIVE HVAC SYSTEMS MAY BE SUBSTITUTED ONLY IF DOCUMENTATION IS PROVIDED SHOWING ADHERENCE TO THE SENSIBLE BTU RATINGS AND PERFORMANCE DATA REQUIRED AS INDICATED BY THE MANUAL J, S, AND D CALCULATIONS THAT ACCOMPANY THIS MECHANICAL DESIGN.
- 4. ALL DUCT SYSTEMS SHALL COMPLY WITH GUIDELINES PER CHAPTER X OF THE 2018 IRC.

REFER TO EQUIPMENT SCHEDULE FOR DETAILS.

- DUCTWORK LOCATED WITHIN THE THERMAL ENVELOPE SHALL HAVE AN INSULATION R-VALUE OF 6. DUCTWORK LOCATED ABOVE / OUTSIDE THE THERMAL ENVELOPE SHALL HAVE AN INSULATION R-VALUE OF 8. ROOFTOP / EXTERIOR DUCT SHALL REQUIRE 2-INCH INTERNAL FIBERGLASS LINER.
 MECHANICAL AIRFLOW DESIGN BASED UPON NOMINAL 400 CFM PER TON @ 0.50 INCHES W.C. STATIC. ACTUAL SYSTEM CFM OUTPUT MANY VARY.
- MECHANICAL ITEM SPECIFICATIONS, DIMENSIONS, CONSTRUCTION TYPES, AND LOCATIONS ARE SUBJECT TO CHANGE UPON SITE INSPECTION BY HVAC FIELD ENGINEER.
- 8. UPON SUBMITTAL OF THIS DESIGN, IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO ENSURE THAT ADEQUATE CLEARANCE IS PROVIDED FOR ALL MECHANICAL COMPONENTS. TRUSSES MUST ALLOW FOR AT LEAST 30 INCHES OF LOW-SIDE CLEARANCE FOR DUCT SYSTEMS.
- 9. ALL ROOMS THAT RECEIVE SUPPLY AIR DELIVERY GREATER THAN 100 CFM SHALL INCLUDE EITHER A DUCTED RETURN OR TRANSFER GRILLE TO AVOID EXCESSIVE TEMPERATURE VARIANCE.
- 10. RAISED PLATFORMS SHALL BE PROVIDED FOR WATER HEATERS ONLY.
 FURNACES AND AIR HANDLERS SHALL HAVE DUCTED RETURNS AND NEVER
 DRAW RETURN AIR THROUGH RAISED FLOORS OR PLATFORMS..
- II. KITCHEN HOOD VENTS WITH EXHAUST RATES IN EXCESS OF 400 CFM SHALL REQUIRE MAKE-UP AIR SYSTEMS PER MI503.4. RANGE HOOD INSTALLATION SHALL BE PROVIDED BY OTHERS AND ELECTRICAL INTERLOCK BETWEEN RANGE HOODS AND MAKE-UP AIR DAMPERS SHALL BE PROVIDED BY THE ELECTRICAL CONTRACTOR.
- 12. MECHANICAL VENTILATION SHALL BE PROVIDED VIA DUCTED CONNECTION TO OUTDOORS WITH WALL CAP, ROOF JACK, OR OUTDOOR AIR DAMPER ASSEMBLY (TYPE AND LOCATION TO BE DETERMINED BY FIELD ENGINEER AND GENERAL CONTRACTOR. HVAC SYSTEM FAN SHALL BE ECM (X-13 OR FULL VARIABLE SPEED) PER ENERGYSTAR GUIDELINES. INTERMITTENT VENTILATION RATES SHALL COMPLY WITH 2012 IRC TABLE M1507.3.3(2) AND PROGRAMMED VIA COMFORT CONTROL (HONEYWELL TH8321 OR EQUIV.).
- 13. REMOVABLE CEILING / WALL ACCESS PANELS MUST BE PROVIDED ALLOW FOR SERVICE / REPLACEMENT OF ALL DAMPERS INCLUDING ZONE DAMPERS, BYPASS DAMPERS, AND MAKE-UP AIR DAMPERS WHEN APPLICABLE.
 14. CARBON MONOXIDE ALARMS / DETECTION SYSTEMS MUST BE INSTALLED
- 14. CARBON MONOXIDE ALARMS / DETECTION SYSTEMS MUST BE INSTALLED PER R315 FOR ALL HOMES WITH GAS-FIRED APPLIANCES OR ATTACHED GARAGES.
- 15. VENTILATION AND INDOOR AIR QUALITY PER ASHRAE STANDARD 62.2-2012.

54899
SMAIL BURAK
BEKAT
RECONAUS.A.

Revisions

CHANICAL PLAN,

шО

ARIGAN RESIDENCE
UEST HOUSE

88 North Cathedral Rock Ro

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Tucson, Arizona 85719
520.903.2323 phone
www.a23studios.com



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Revisions

JMBING NOTES, HEDULES

SIGAN RESIDENCE
EST HOUSE
North Cathedral Rock Road
on, Arizona 85718

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Project 24087

Date 1.30,25

Sheet

P1.0

Plumbing Fixture Schedule

MARK	FIXTURE	HW	CW	WASTE	VENT	QTY	DF	RAIN	SU	PPLY	MIN TRAP
IAINIX	TIXTORE	FIAA	CVV	VVASIL	VLINI	QII	FU	TOTAL	FU	TOTAL	DRAIN SIZE
	FULL BATHROOM GROUP					ľ	5	=5	3.6	=3.6	
P-1	WATER CLOSET	A-5	1/2"	3"	2"	2	*	*	*	*	3"
P-2	LAVATORY	1/2"	1/2"	2"	1-1/2"	2	*	*	*	*	I-I/2" **
P-3	SHOWER	3/4"	3/4"	2"	2"	1	*	*	*	*	2"
	KITCHEN GROUP					1	2	=2	2.5	=2.5	
P-4	KITCHEN SINK / DISHWASHER	1/2"	1/2"	2"	2"	1	*	*	*	*	1-1/2"
P-5	TANKLESS WATER HEATER			1447	4	- L	- (3-)	34-	124	144	N/A
P-6	HOSE BIBB ***	344	-	544	120	f	44.7		2.5	=2.5	N/A

* FIXTURE UNITS INCLUDED IN LISTED GROUP

TOTALS

** I 1/2" TAILPIECE MAY ACT AS CLEANOUT EQUIVALENT @ 2" DRAIN WHERE I 1/4" TAILPIECE CAN NOT.

*** HOSE BIBBS SHALL HAVE AN INTEGRAL BACKFLOW PREVENTOR.

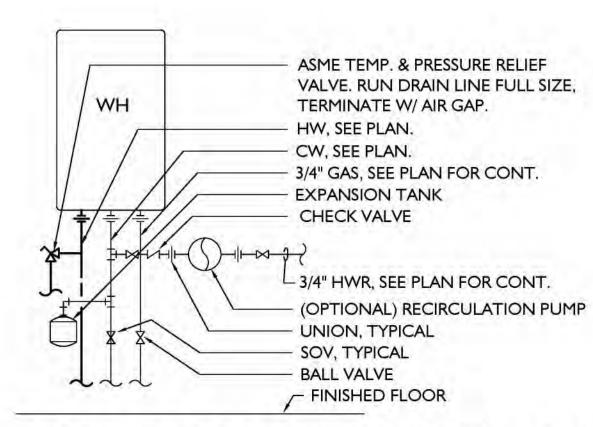
Gas Demand Schedule

APPLIANCE / MARK	DEMAND BTUH	DISTANCE FROM METER	PIPE SIZE
FURNACE	60,000	112 FEET	3/4"
WATER HEATER	199,000	115 FEET	1-1/4"
TOTAL DEMAND	259,000	115' DEV. LENGTH	1-1/4"

Gas Piping Capacity Table

SIZE	1/2"	3/4"	1"	1-1/4"	1-1/2"	2"	2-1/2"	3"	4"
CFH	44	92	173	355	532	1,020	1,630	2,890	5,890

=8.6



Water Heater (Gas Tankless)

NOT TO SCALE

SIZE AMENDMENTS. CONTRACTOR TO SECURE AND PAY FOR A

PLUMBING PLAN DESIGNED TO & TO BE INSTALLED IN COMPLIANCE WITH ALL REQUIREMENTS OF THE 2018 INTERNATIONAL RESIDENTIAL CODE WITH LOCAL AMENDMENTS.

Plumbing General Notes

CONTRACTOR TO SECURE AND PAY FOR ALL REQUIRED PERMITS AND INSPECTIONS. PROVIDE A COMPLETE, FUNCTIONING PLUMBING SYSTEM AS INDICATED, INCLUDING ITEMS OF A MINOR NATURE REQUIRED FOR THE INSTALLATION, BUT NOT SPECIFICALLY NOTED OR SHOWN.

PRIOR TO BID AND PRIOR TO FABRICATING ANY MATERIALS OR ORDERING ANY EQUIPMENT, THOROUGHLY INVESTIGATE ALL EXISTING SITE AND/OR BUILDING CONDITIONS INCLUDING AVAILABLE INVERT, CLEARANCES, POTENTIAL INTERFERENCES, ETC. TO ENSURE THAT SYSTEMS MAY BE INSTALLED ESSENTIALLY AS INDICATED. REPORT ANY DISCREPANCIES TO THE ARCHITECT.

SUBMIT TWO (2) COPIES OF SHOP DRAWINGS AND MANUFACTURER'S DIMENSIONAL DATA ON ALL EQUIPMENT AND MATERIAL (PRODUCTS) TO BE INCORPORATED INTO THE CONSTRUCTION.

THE CONTRACTOR SHALL COORDINATE AND PAY FOR ALL COSTS ASSOCIATED WITH THE SUBSTITUTION OF PRODUCTS OTHER THAN SPECIFIED.

PIPING: DOMESTIC WATER PIPING SHALL BE AS FOLLOWS:
UNDERGROUND - TYPE K SOFT COPPER TUBING WITH NO JOINTS. OR
CROSS-LINKED POLYETHYLENE (PEX) TUBING.
ABOVE GROUND - TYPE L COPPER HARD DRAWN WITH WROUGHT COPPER
FITTINGS OR CROSS-LINKED POLYETHYLENE (PEX) TUBING.
HOT WATER PIPING SHALL BE INSULATED WITH 1/2" THICK GLASS FIBER PIPE
INSULATION WITH ALL SERVICE JACKET, ALL COLD WATER PIPING, WHERE
PIPING IS SUBJECT TO FREEZE, SHALL BE INSULATED.

ALL CROSS-LINKED POLYETHYLENE (PEX) TUBING TO BE INSTALLED ACCORDING TO MANUFACTURER'S INSTRUCTIONS & CODE REQUIREMENTS. USE ONLY FITTINGS RECOMMENDED BY THE MANUFACTURER.

SOIL, WASTE AND VENT PIPING SHALL BE AS FOLLOWS:
INSIDE THE BUILDING AND BELOW SLAB - SCHEDULE 40 A.B.S. PIPE TUBE AND SHOWER UP SOLID, NO SLIP JOINTS.

CLEAN OUTS SHALL BE THE SAME SIZE AS LINE EXCEPT NOT TO EXCEED 4" WITH NIKALOY COVER AND FRAME. INSTALL FLUSH WITH FINISH SURFACE. GRADE CLEAN OUTS TO BE INSTALLED WITHIN 24" OF BUILDING.

CONTRACTOR SHALL PAY FOR ALL INSTALLATION CHARGES AND FEES, COORDINATE ALL REQUIREMENTS.

SLEEVE PIPES THROUGH STEM WALLS WITH SCHEDULE 40 PVC PIPE.
COORDINATE LOCATION AND ELEVATION WITH GENERAL CONTRACTOR.

PIPES THROUGH FIRE WALLS SHALL HAVE SPACE BETWEEN WALL OR SLEEVE AND PIPE SEALED WITH F.M. APPROVED FIRE RESISTANT MATERIAL, SUCH AS DOW CORNING SILICONE RTV FOAM NO. 3-6548, OR APPROVED EQUAL, TO MAINTAIN THE INTEGRITY OF THE FIRE RATING.

WRAP METALLIC PIPE IN CONTACT WITH CONCRETE BLOCK, SLABS OR STUCCO WITH 10 MIL THICK PVC TAPE TO AVOID CORROSION.

UNDERGROUND PIPING SHALL BE INSTALLED IN PROPERLY EXCAVATED AND BACK FILLED TRENCHES WITH A MINIMUM COVER OF 18", UNLESS OTHERWISE SPECIFICALLY NOTED OR REQUIRED BY CODE.

FURNISH AND INSTALL ALL PLUMBING FIXTURES INDICATED ON THE DRAWINGS, OR SELECTED BY THE OWNER. PROVIDE STOPS AT HOT AND COLD WATER CONNECTIONS TO EACH FIXTURE.

TEST PIPING AS FOLLOWS:

SOIL, WASTE AND VENT - MINIMUM 10 FEET WATER HEAD OR TOP OF VENT STACK FOR TWO (2) HOURS, WATERTIGHT, WATER PIPING - MINIMUM 100 PSIG FOR FOUR (4) HOURS WITH NO DECREASE IN PRESSURE., NATURAL GAS PIPING MINIMUM 15 PSIG FOR FOUR (4) HOURS WITH NO DECREASE IN PRESSURE.

RECORD ALL CHANGES TO THE SYSTEM ON A RECORD DRAWING AND TURN OVER SUCH DRAWINGS TO THE OWNER. LOCATE UNDERGROUND SOIL AND WATER PIPING BY DIMENSION FROM FIXED REFERENCE POINTS.

PROVIDE OWNER WITH TWO (2) SETS OF OPERATING AND MAINTENANCE INSTRUCTIONS FOR ALL EQUIPMENT, INCLUDING WIRING DIAGRAMS.
INSTRUCT OWNER IN PROPER OPERATION OF ALL EQUIPMENT AND CONTROLS.

CONTRACTOR SHALL MAINTAIN PREMISES IN CLEAN CONDITION AT END OF EACH DAY AND THOROUGHLY CLEAN UP AT END OF CONSTRUCTION.

SHOWER AND TUB/SHOWER COMBO SHALL HAVE INDIVIDUAL CONTROL VALVES AND SHALL HAVE PRESSURE BALANCE OR THERMOSTATIC MIXING VALVES.

BATHTUB AND SHOWER ENCLOSURE SHALL BE FINISHED WITH CERAMIC TILE TO A HEIGHT OF 72" ABOVE THE DRAIN PER SECTION 412.7 AND 412.8 OF THE

Plumbing Specifications

- FIXTURES TO BE AS SELECTED BY OWNER AND TO BE OF THE WATER CONSERVATION TYPE IN ACCORDANCE WITH 2018 IRC TABLE P2903.2: LAVATORY AND SINK FAUCETS MAXIMUM 2.2 GPM, SHOWERHEADS MAXIMUM 2.5 GPM AND WATER CLOSETS MAXIMUM 1.6 GPF. PROVIDE ALL ACCESSIBLE STOPS WITH WHEEL HANDLES, SUPPLIES, 17 GAUGE TUBULAR CHROME PLATED P-TRAPS, ETC. TO RENDER A COMPLETE INSTALLATION.
 PROVIDE CLOTHESWASHER CONNECTION PER LATEST EDITION OF 2018
 - INTERNATIONAL RESIDENTIAL CODE SECTION P2718.
 PROVIDE PRESSURE BALANCE SHOWER VALVES.
- 4. CLOTHESWASHING MACHINE SHALL BE SUPPLIED BY OWNER. THIS
 CONTRACTOR SHALL MAKE ALL FINAL CONNECTIONS AND PROVIDE
 RECESSED WASHERBOX WITH 2" TRAPPED STANDPIPE AND SINGLE VALVED
 HW & CW CONNECTIONS (GUY GREY MODEL #WB-200 OR EQUAL).

 5. HOSE BIBBS SHALL BE CHROME PLATED ROUGH BRASS. PROVIDE VACUUM
- BREAKER PER 2018 INTERNATIONAL RESIDENTIAL CODE SECTION P2902.
 PROVIDE 1/2" FILTERED WATER TO ANGLE STOP IN RECESSED WALL BOX FOR REFRIGERATOR ICEMAKER.

ADDITIONAL NOTES:

WHERE PLAN CALLS FOR "VENT IN WALL" IT IS THE PLUMBER'S DISCRETION TO ROUTE ABOVE CEILING.

SEWER VENTS THRU ROOF TO BE OFFSET AS REQUIRED TO AVOID OBSTRUCTIONS AND TO COMPLY WITH ALL CODE REQUIREMENTS.

NOTE:
THESE DOCUMENTS ESTABLISH THE GENERAL
STANDARDS OF QUALITY AND DETAIL FOR
DEVELOPING A NEGOTIATED CONSTRUCTION

CONTRACT.



HOSE BIBB WALL CLEANOUT GAS LINE

SEWER LINE

VENT LINE

ABOVE ABOVE CEILING **ABV CLNG**

CLNG CEILING CONT DOWN **TYPICAL**

UNDERGROUND OFFSET VENT

VENT THRU ROOF COLD WATER LINE HOT WATER LINE HOT WATER RECIRC LINE

GROUND CLEANOUT TEMPERATURE & PRESSURE RELIEF

ABOVE FINISH FLOOR CONTINUATION

TYP OSV

Plumbing Symbol Legend

ABV

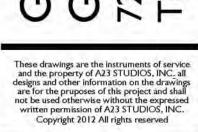
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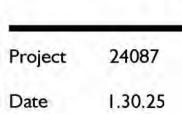
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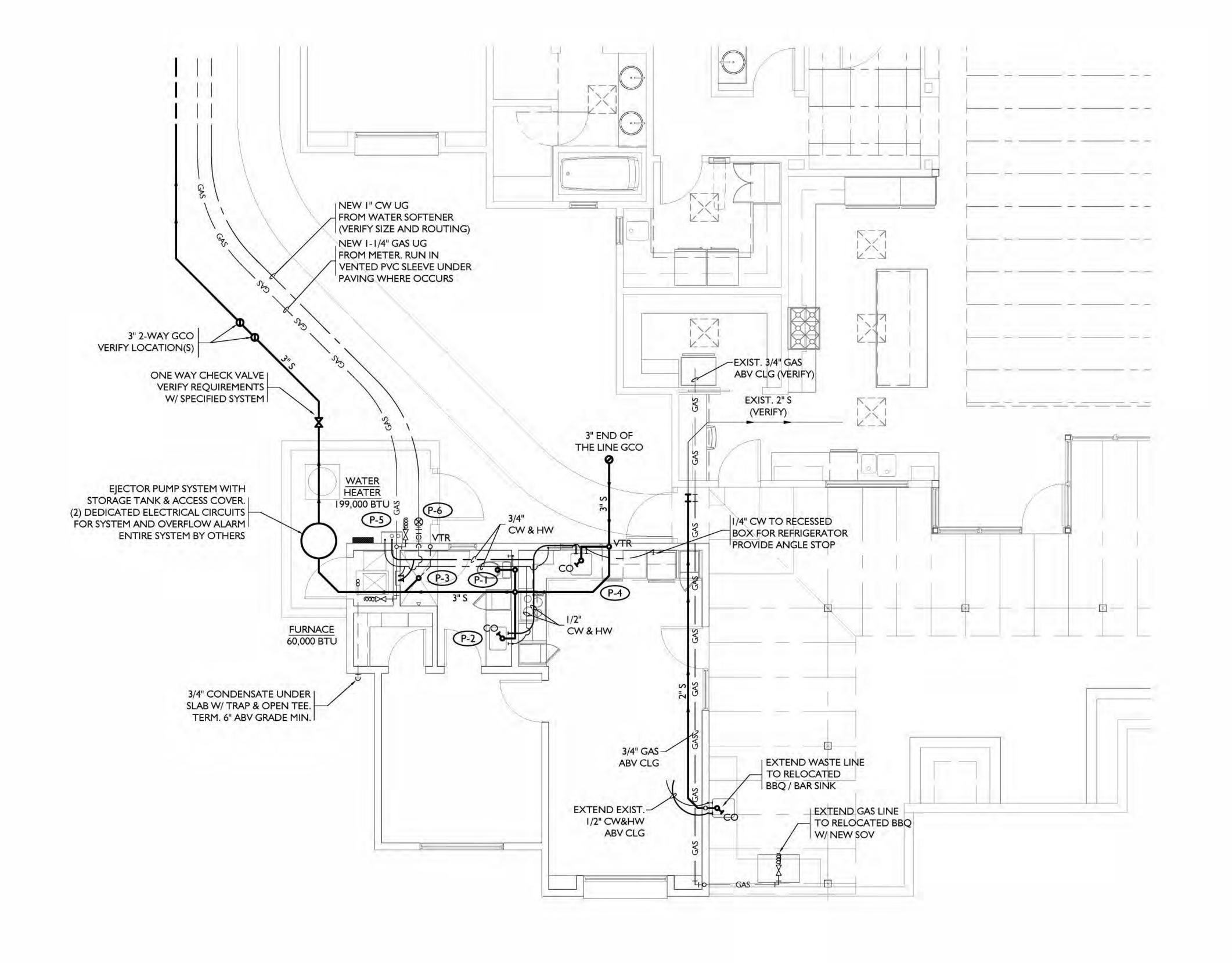
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Panel Scedule(s)

12	0/2	COMBINATION METER 40V, IØ, 3 WIRE, NEMA L'M' 400A MCB	SOCKET 3R, 10K A	PAN	EL	ANEL 'M'	
CIR	BRYS	DESCRIPTION	WIRE	MRE	BRYC	DESCRIPTION	CIR
1	200	SUB-PANEL 'A'	(E)	#1 (AL)	100	SUB-PANEL 'B'	2
5	50	EAST A/C	(E)	(E)	60	CAR CHARGER	6
9/	50	RANGE	(E)	(E)	50	OVEN	10
13/	20	LAUNDRY GFCI WEST FURNACE	(E)	(EX	50	WEST A/C	14
17/	20	GARAGE GFCI	(É)	(E)	20	YACUUM SYSTEM	18
19/ 21/	20/20	EXTERIOR/GFCI LANDSCAPE	(E)	(E)	20	IRRIGATION	20/
23/	AFCI	GARAGE LIGHTS ELECTRICAL	(E)	Æ)	20	GARÁGE DOÓRS	24
SEW FUR REC WH APP SUB IST NEX	VER EJ NACI IBC P IRLPO LJANO TOTA 10,000 (7 6,1	UMP OOL TUB CE (2 @ 1500 W)	ATTS / SP			4,500 3,000 1,500 1,500 16,164 10,000 2,466 5,280	WATTS
19,2°	EXI EXI NE TO	OAD ATTS / 240 V (IØ) = OAD / MAIN PANEL IST. PANEL 'M' = I22 AMPS IST. PANEL 'A' = I03 AMPS W PANEL 'B' = 69 AMPS TAL = 294 AMPS G SERVICE (400 AMP) / OK					WATTS 22 AMPS

12 Pa	20 / 24 ANEL	PANEL 40V, IØ, 3 WIRE, NEMA 3R, L'A' 200A MCB					
CIR	SRIP	DESCRIPTION	MRE	MRE	BRYS	DESCRIPTION	С
1	40	OVENS //	#8	#10	/	cuz ////	1
3	40	сооктор	#8	#10	36	DRYER	1
9	20	HOOD / VENT	#12	#12	20	WASHER	1
W	20	REFRIGERATOR	#12	#12	20	FURNACE-2	1
13	20	MICROWAVE /	#12	#12	20	WATER HEATER-2	1
15/	20	DISH/DISPOSAL	#12	#12	20 GFÇI	EXTERIOR RECEPTS	1
17/	GFCI	KITCHEN RECEPTS	#12	#12	1	EXTERIOR LIGHTS	1
19/	20 GFCI	KITCHEN RECEPTS	#12	#12	20 AFCI	EXERCISE RECEPTS	2
21/	20	KITCHEN LIGHTS	#12	#12	/	EXERCISE LIGHTS	/
23/	20	KITCHEN LIGHTS	#12	#12	20 GFCI		
25/	20	GREAT ROOM RECEPTS	#12	#12	/		
27	20/	DINING RECEPTS	#/2	#12	20	EXHAUST FANS	
29	20/	DINING LIGHTS	#12	#/12	20 AFCI	MASTER CLO RECEPTS	/
31	20	GREAT ROOM LIGHTS	#12	#12	/	MASTER CLO LIGHTS	3
33	20 GFCI	LAUNDRY RECEPTS	#1/2	#12	20/ AFCI	MASTER BED RECEPTS	3
35	20	LAUNDRY LIGHTS	#1/2	#12	20	MASTER BED LIGHTS	3
37	20	IRONING BOARD	#12	1	/	SPACE //	3
39	/-	SPACE / /	-/	-/	/	SPACE //	4
1	//	ELECTRICAL LO	/	G/	Le	////////	/
ONE OVE MIC HOS DISH	ER OKTO ENS BOW OD HOUS SHER	///////) SF)			6,000.WV 4,500 WV 7,500.WV 7,500.WV 1,500 WV 1,500 WV 1,500 WV	411 411 411 411 411 411
APP	NACE	2 CE (2 @ 1500 W)	/	/	/	2,160 W/ 3,000 W/	ATT ATT
IST NEX		0 WATTS @ 100% 160 WATTS @ 40%	/	/	/	38,160 W/ 10,000 W/ 11,264 W/ 3,360 W/	477
10	TAL LO	1/////	/	/	/	24,624,W/	ATT

12 P.	20 / 24 ANEL	COMBINATION METER SOC 40V, 1Ø, 3 WIRE, NEMA 3R, . 'A' 100A MCB	IOK A	AIC			
CIR	BRICE	DESCRIPTION	MRE	MRE	8RIP	DESCRIPTION	CIF
1	20	LIVING ROOM LIGHTS	#12		W	MARKERS	2
3	20	LIVING ROOM RECEPTS	#12	#10	30	COOKTOP	4
5	20	BEDROOM	#12	#12	20	HOOD / VENT	6
7	20	BATHROOM	#12	#12	20	KITCHEN LIGHTS	8
9	20 GFCI	FURNACE	#12	#12	20	KITCHEN RECEPTS	10
П	w	CONDENSING UNIT	"	#12	20	DISH / DISPOSAL	12
13	20	(CU-I)	#12	#12	20	MICROWAVE	14
15	15	GAS FURNACE (FC-I)	#14	#12	20	REFRIGERATOR	16
17	20 GFCI	LANDSCAPE	#12	1.	-	SPACE	18
19	20	EXTERIOR LIGHTS	#12	13	÷	SPACE	20
21	20 GFCI	BBQ RECEPTS	#12	-	2	SPACE	22
23	20 GFCI	UTILITY / MECH RM	#12	-		SPACE	24
25	20 GFCI	WATER HEATER (VERIFY)	#12	#	#	SEWER EJECTOR PUMP	26
27	12	SPACE	8	#12	20 GFCI	SEWER EJECTOR ALARM	28
29	i e	SPACE	1.2.	#12	3.5 You H	SMOKE DETECTORS	30
		ELECTRICAL LO	AD	CA	\LC	ULATION 'B'	
MIC HO DISH FUR SEV APP	OKTO ROWA OD H / DIS RNACE VER EJE	AVE SPOSAL (FN-1) ECTOR CE (2 @ 1500 W)	SF)			1,710 W 5,750 W 1,500 W 1,000 W 1,500 W 1,260 W 3,000 W 3,000 W	ATTS ATTS ATTS ATTS ATTS ATTS

CONDENSING UNIT (CU-I / 2.0 TON)

TOTAL LOAD

16,570 WATTS / 240 V (IØ) =

PANEL 'B' (100 AMP) / OK

General Electrical Notes

ELECTRICAL INSTALLATION SHALL COMPLY WITH ELECTRICAL CODES IN EFFECT IN THIS AREA AND THE 2018 EDITION OF THE INTERNATIONAL RESIDENTIAL CODE.

ELECTRICAL PANELS: SQUARE 'D' TYPE 'QO' PLUG-IN OR EQUAL.

WIRE SIZES A. 15A BREAKERS: #14(CU) B. 20A BREAKERS: #12(CU)

C. OR AS NOTED ON DRAWINGS. 4. VERIFY EXACT LOCATION OF MECHANICAL EQUIPMENT THERMOSTATS AND CONTROL WIRING, SIZE OF EQUIPMENT, EG (HP, AMPS, VOLTAGE, ETC.) PRIOR TO ROUGH-IN AND COMPLY AS REQUIRED.

ELECTRICAL CONTRACTOR SHALL PROVIDE WIRING NECESSARY AND CONNECT SPECIAL CONTROLS FURNISHED BY MECHANICAL

CONTRACTOR. FUSES FOR A/C UNITS AND MOTORS SHALL BE TYPE 'FRN'.

DISCONNECT SWITCHES FOR MOTORS SHALL BE HP RATED. MOTORS SHALL BE PROTECTED WITH PROPER SIZED FUSETRONS.

8. THE FOLLOWING ITEMS MAY BE USED WHERE PERMITTED BY CODE: A. NON-METALLIC TYPE CABLE.

B. NON-METALLIC DEVICE BOXES.

D. SER CABLE #4 OR LARGER MAY BE USED FOR FEEDER

AND BRANCH CIRCUIT.

E. MC CABLE RECEPTACLES SHALL BE LEVITON OR EQUAL.

A. ALL NEW / REPLACED RECEPTACLES TO BE TAMPER-RESISTANT PER IRC 2018 4002.14.

3902.1 GFCI PROTECTION.

C. ALL OTHER ROOM RECEPTACLES TO COMPLY WITH IRC 2018

3902.12 AFCI PROTECTION. 10. LIGHT SWITCHES SHALL BE LUTRON 'ROCKER' TYPE FOR STANDARD LOCATIONS AND 'SKYLARK' SERIES FOR ALL DIMMER LOCATIONS. MOUNT

WHITE - VERIFY WITH OWNER. 11. LIGHT FIXTURES PER IRC NI 104.1, TO BE SELECTED BY OWNER, FURNISHED AND INSTALLED BY ELECTRICAL CONTRACTOR.

FLUSH WITH PLATES OF PROPER GANG AS REQUIRED. COLOR SHALL BE

12. CONTRACTOR SHALL INSTALL TV SYSTEM COMPLETE WITH TV OUTLETS IN ROOMS AS SHOWN. TV CABLE SHALL BE INSTALLED IN 'ABS' PLASTIC RACEWAY EXCEPT IN STUD WALLS OR FURRED AREAS.

13. ELECTRICAL CONTRACTOR SHALL COORDINATE WITH LOCAL CABLE, TELEPHONE AND POWER COMPANIES FOR EXACT ROUTING OF UNDERGROUND LINES AND TRENCHING PRIOR TO ROUGH-IN AND COMPLY AS REQUIRED.

OUTLET SPACING PER IRC E3901.2.

15. CLOSET LIGHTING PER IRC E4003.12.

3,082 WATTS

16,570 WATTS

69 AMPS

16. OUTLETS ABOVE COUNTERTOPS IN KITCHENS SHALL BE GFCI

17. SMOKE DETECTOR INSTALLATION PER IRC R314: A. SMOKE DETECTORS SHALL BE HARD WIRED W/ BATTERY BACKUP

B. WALL: MINIMUM 6", MAXIMUM 12" BELOW CEILING MINIMUM 18" FROM CORNERS OR PER LISTING.

C. CEILING: MINIMUM 6" FROM VERTICAL SURFACES OR PER LISTING. D. INSTALLATION SHALL BE A MINIMUM OF 3'-0" FROM ANY MECHANICAL SUPPLY OR RETURN GRILLE.

18. VERIFY ALL HEIGHTS AND LOCATIONS OF OUTLETS AND SWITCHES WITH OWNER.

19. CEILING FANS SHALL BE MOUNTED TO APPROVED BOXES PER IRC E3805.9. 20. CONDUCTOR AMPACITIES AND TYPES SHALL COMPLY WITH IRC TABLE E3705. I. ALL CONDUCTORS SHALL BE COPPER AND RATED A MINIMUM OF 75 DEGREES CELSIUS.

21. CONTRACTOR SHALL PROVIDE SECURITY SYSTEM PRE-WIRE THROUGHOUT THE HOUSE. COORDINATE ALL REQUIREMENTS WITH OWNER.

22. VERIFY ALL HEIGHTS OF LIGHT SWITCHES AND RECEPTACLES WITH OWNER PRIOR TO ROUGH-IN. ALL HEIGHTS NOTED ON PLANS ARE TO BOTTOM OF

23. CEILING FANS SHALL BE FURNISHED BY OWNER AND INSTALLED BY CONTRACTOR.

24. ALL BRANCH CIRCUITS THAT SUPPLY 125 VOLT, SINGLE PHASE, 15 AND 20 AMPERE OUTLETS INSTALLED IN DWELLING UNIT FAMILY ROOMS, DINING ROOMS, LIVING ROOMS, PARLORS, LIBRARIES, DENS, SUNROOMS, RECREATION ROOMS, CLOSETS, HALLWAYS AND BEDROOMS SHALL BE PROTECTED BY AN ARC FAULT CIRCUIT INTERRUPTER LISTED TO PROVIDE PROTECTION FOR THE ENTIRE BRANCH CIRCUIT PER 2018 IRC SECTION E3902.12.

25. CARBON MONOXIDE DETECTORS SHALL COMPLY WITH R315.1-4. 26. A MINIMUM OF 90% OF THE LAMPS IN PERMANENTLY INSTALLED LIGHTING

FIXTURES SHALL BE HIGH EFFICIENCY PER N I 104.1 27. ALL OUTDOOR BUILDING AND LANDSCAPE LIGHTING SHALL COMPLY WITH

LOCAL CC&R'S AND PIMA COUNTY OUTDOOR LIGHTING CODE.

28. LANDSCAPE LIGHTING PROVIDED BY THE OWNER / CONTRACTOR SHALL COMPLY WITH APPLICABLE LIGHTING CODE / ORDINANCE AND BE SUBMITTED FOR APPROVAL AS REQUIRED.

B. BATHROOM / OUTDOOR / GARAGE RECEPTACLES PER IRC 2018

8

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East 9th Arizona 903.2323

Date

Outdoor Lighting Code

LOCATION LIGHTING AREA PROJECT DISTURBED AREA (SEE SHEET A1.1) = 18,060 SF (.41 ACRES) UNSHIELDED LUMEN LIMIT = 9,000 LU / ACRE ACTUAL UNSHIELDED LIMIT $(9,000 \times .41) = 3,690 \text{ LU}$ PROJECT UNSHIELDED LUMENS = 0 LU $0 < 3,690 \, LU = OK$

TOTAL LUMEN LIMIT = 39,000 LU / ACRE ACTUAL LUMEN LIMIT (39,000 X .41) = 15,990 LU

PROJECT LLIMENS.

PROJE	CT LUMENS:					
MARK	QUANTITY	LU / EA	NO SHIELD	SHIELDED	TOTAL LU	
'A'	*2	650	-	YES	0	
'D'	*2	150	-	YES	0	

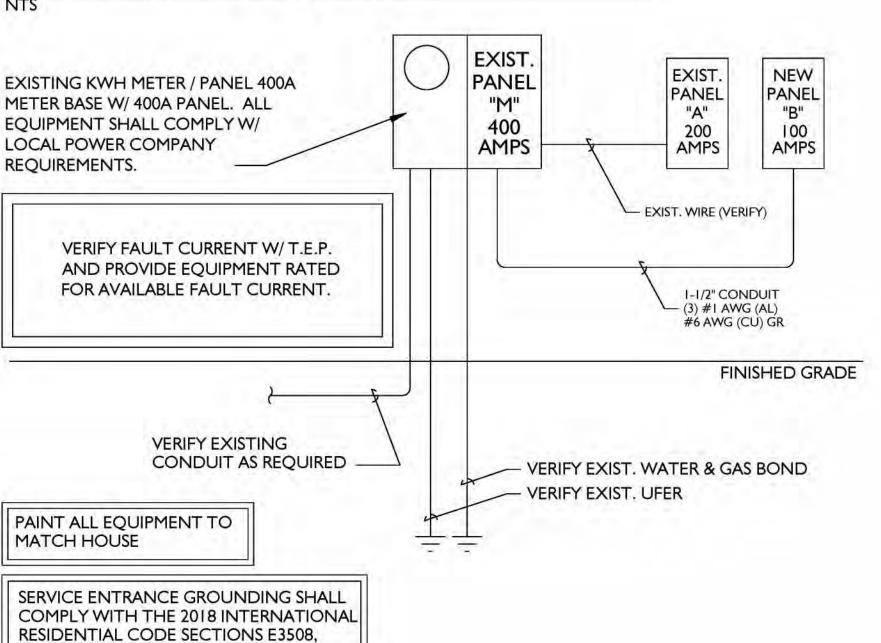
NOTE: *FULL CUT-OFF FIXTURES UNDER CANOPY NOT INCLUDED IN TOTAL LIGHT OUTPUT CALCULATIONS PER PIMA COUNTY OLC 2012 401.2.1.3

TOTAL EXISTING PROJECT LUMENS TOTAL NEW PROJECT LUMENS 5,050 < 15,990 = OK

= 5,050 LU (P17BP06146) = 0 LU (NO INCREASE)

One Line Diagram

E3509,E3510 AND E3511.



THESE DOCUMENTS ESTABLISH THE GENERAL STANDARDS OF QUALITY AND DETAIL FOR **DEVELOPING A NEGOTIATED CONSTRUCTION** CONTRACT.



GARAGE DOOR OPENER DOOR BELL CHIME SWITCH 3-WAY SWITCH 4-WAY SWITCH DIMMER SWITCH PHONE JACK

SD/CD SMOKE / CARBON DETECTOR

JUNCTION BOX

CEILING FAN GROUND-FAULT CIRCUIT INTERRUPTER

ARC-FAULT CIRCUIT INTERRUPTER WATER PROOF

DAMP LOCATION LOW VOLTAGE

PENDANT

Keynotes:

20 A, 2 POLE, 240 V, FUSED NEMA 3R DISCONNECT SWITCH FUSED PER MANUFACTURERS REQUIREMENTS.

Electrical Symbol Legend

EXHAUST FAN

CEILING LIGHT

WALL SCONCE

RECESSED CANLIGHT

UTILITY STRIP LIGHT

SINGLE FLOOD LIGHT

DOUBLE FLOOD LIGHT

1/2 HOT RECEPTACLE

DUPLEX RECEPTACLE

SPECIAL RECEPTACLE

UNDER CABINET LIGHTS

TELEVISION JACK

FLOOR OUTLET

TRANSFORMER

STEP LIGHT

THERMOSTAT

WATER PROOF CANLIGHT

SPOT LIGHT DIRECTIONAL

2 I/2 HP EJECTOR PUMP SYSTEM WITH (2) DEDICATED ELECTRICAL CIRCUITS FOR SYSTEM AND OVERFLOW ALARM - COORDINATE ALL REQUIREMENTS.

Additional Project Notes:

PROVIDE DIMMERS AT ALL CEILING LIGHTS.
PROVIDE UNDER / OVER CABINET LIGHTING AT KITCHEN. COORDINATE REQUIREMENTS.

ALL CEILING FANS TO HAVE REMOTE CONTROL.

EXTERIOR BUILDING AND LANDSCAPE LIGHTING SHALL COMPLY WITH APPLICABLE PIMA COUNTY LIGHTING ORDINANCE(S) / OUTDOOR LIGHTING CODE(S).

