

Grading & Drainage Notes

1. SITE SHALL BE GRADED AS SHOWN ON GRADING / SITE PLAN.
2. PROVIDE 10'-0" MIN. OF POSITIVE DRAINAGE AT GRADUAL PERPENDICULAR SLOPE (5% MIN.) FROM ALL STEM / RETAINING WALLS, U.N.O. (6" V. WITHIN 10'-0" H.).
3. SOLID SURFACES: PROVIDE MINIMUM DRAINAGE SLOPE OF 0.5% AT WALKWAYS, DRIVEWAYS, PORCHES AND PATIOS.
4. EARTHEN SURFACES: PROVIDE MINIMUM LONGITUDINAL DRAINAGE SLOPE OF 2% AT ALL PLANTING AREAS WITHIN 10' PERPENDICULAR TO STRUCTURE (1% AT AREAS OUTSIDE 10').
5. CUTS AND FILLS SHALL NOT ENCR OACH INTO ANY FLOODPLAIN OR BE DISPOSED OF OVER SIDES OF HILLS OR RIDGES.
6. ALL SLOPE TREATMENT FOR THE LOT SHALL BE COMPLETED PRIOR TO FINAL INSPECTION OF THE SINGLE FAMILY RESIDENCE AND THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
7. CONTRACTOR SHALL BE RESPONSIBLE FOR ASSURING PROPER AND ADEQUATE DRAINAGE OF WATER AWAY FROM ALL STRUCTURES.
8. STORM WATER DISPOSAL SHALL BE OVERLAND AND SHALL MAINTAIN EXISTING DRAINAGE PATTERNS.
9. UTILITIES SHALL BE PLACED UNDERGROUND IN CONFORMANCE WITH ARIZONA CORPORATION COMMISSION AMENDED GENERAL ORDER U-48.
10. CONTRACTOR SHALL CONSTRUCT PATIO WALLS / SITE RETAINING WALLS PRIOR TO CONSTRUCTION OF RESIDENCE FOUNDATION IN ORDER TO UTILIZE RETAINING WALLS AS EROSION PROTECTION BARRIER.
11. ONLY THAT VEGETATION SHALL BE REMOVED WHICH IS NECESSARY FOR BUILDING PADS AND ACCESSORY USES, ROADS, AND DRIVEWAYS. ALL HEALTHY PALO VERDE, MESQUITE, IRONWOOD, SAGUAROS AND BARREL CACTI TO BE REMOVED SHALL BE TRANSPLANTED FOR ON-SITE LANDSCAPING OR AS OTHERWISE INDICATED IN THE NNPO PLANS.
12. ALL UNIMPROVED OR DISTURBED AREAS, INCLUDING UTILITY TRENCHES AND CUT OR FILL SLOPES RESULTING FROM THE CONSTRUCTION ON THIS LOT, SHALL BE RESTORED TO THEIR NATURAL STATE BY UTILIZING DROUGHT-RESISTANT VEGETATION. PROVIDE TEMPORARY CONSTRUCTION FENCING AROUND THE PERIMETER OF THE AREA TO BE GRADED THAT SHALL REMAIN IN-PLACE FOR THE DURATION OF THE CONSTRUCTION PERIOD.

Keynotes

1. EXISTING CONTOUR LINES.
2. NEW / MODIFIED CONTOUR LINES AS SHOWN.
3. EXISTING CONCRETE / PAVER ENTRY DRIVE / GUEST PARKING.
4. NEW GAS LINE FROM EXISTING GAS METER. VERIFY LOCATIONS / REQUIREMENTS.
5. NEW ELECTRIC AND DATA LINES FROM EXISTING SERVICE ENTRANCES. VERIFY LOCATIONS / REQUIREMENTS.
6. NEW WATER LINE / SOV PER PLUMBING PLAN FROM EXISTING SOFT WATER LOOP. VERIFY LOCATIONS / REQUIREMENTS.
7. MECHANICAL / UTILITY YARD ENCLOSURE WALL W/ STUCCO FINISH PER PLAN. SEE PLAN / DETAILS.
8. SEWER EJECTOR PER PLUMBING PLAN. VERIFY LOCATION AND COORDINATE ALL REQUIREMENTS.
9. HATCHED AREA INDICATES 15% SLOPED AREAS.
10. REMOVED SET-ASIDE AREA. SEE CALCULATIONS ON SHEET A1.0.
11. NEW SET-ASIDE AREA. SEE CALCULATIONS ON SHEET A1.0.
12. EXISTING COVERED PORCH. TYP.
13. NEW COVERED PORCH / PORCH EXTENSION. SEE FRAMING PLAN.
14. NEW PORTION OF CONCRETE PAVER PATIO / WALKWAY PER OWNER. SEE FOUNDATION PLAN / DETAILS. ALIGN WITH EXISTING WHERE OCCURS.
15. CONCRETE SERVICE YARD SLAB. SLOPE TOWARD GATE OPENING OR BLOCK OUT IN WALL TO DRAIN. VERIFY / COORDINATE REQUIREMENTS.
16. CUSTOM WOOD / STEEL SERVICE GATE.
17. LANDSCAPE AREA PER OWNER.
18. EXISTING VEGETATION TO REMAIN TYP UNO.
19. EXISTING SAGUARO TO BE PRESERVED IN PLACE (PIP) TYP.
20. DASHED CIRCLE INDICATES EXISTING TREE / VEGETATION TO BE REMOVED.
21. NEW BBQ BASE / COUNTERTOP WITH SALVAGED BBQ AND SINK. EXTEND EXISTING UTILITIES TO NEW LOCATIONS PER PLAN.

Grading Calculations

LOT SIZE (0.83 ACRES) 36,208.8 SF

PARCEL CONTAINS SLOPES OF 15% OR GREATER AND IS SUBJECT TO HILLSIDE DEVELOPMENT OVERLAY ZONE.

NO / INCIDENTAL 15% SLOPES ARE IMPACTED / SEE HATCHED AREAS - NO GRADING LIMITS APPLY (18.61.054 EXCEPTIONS B.1 / B.2)

GRADING TOTALS	
EXISTING DRIVE / GARAGE ACCESS GRADING	3,660 SF
EXISTING HOUSE / GARAGE / PORCHES / HARDSCAPE GRADING	13,915 SF
NEW GUEST HOUSE GRADING	973 SF
TOTAL REVISED GRADED AREA	18,548 SF

GRADED AREA > 14,000 SF -
NATIVE PLANT PRESERVATION ORDINANCE APPLIES (18.72.050.A.1)
COMPLIANCE VIA SET-ASIDE METHOD
36,208.8 SF * 30% = 10,862.6 SF SET-ASIDE REQUIRED
10,896.3 SF SET-ASIDE PROVIDED - SEE AREA DESIGNATED SHEET A1.0

Cut and Fill Notes

- A. SLOPES 3 : 1 (HORIZONTAL : VERTICAL) OR LESS SHALL BE REVEGETATED.
- B. SLOPES BETWEEN 1.5 : 1 AND 3 : 1 SHALL BE HAND PLACED RIP-RAP.
- C. SLOPES BETWEEN 1 : 1 AND 1.5 : 1 SHALL BE GROUTED RIP-RAP

Geotechnical / Excavation

- A. ALL SOILS COMPACTION WORK SHALL BE IN STRICT COMPLIANCE WITH REQUIREMENTS OF THE PROJECT GEOTECHNICAL REPORT (SOILS TEST).
- B. ALL FOUNDATIONS SHALL BEAR ON FIRM UNDISTURBED SOIL OR CERTIFIED ENGINEERED FILL PER PROJECT GEOTECHNICAL REPORT.
- C. ALL EXCAVATION WORK SHALL BE INSPECTED AND CERTIFIED BY PROJECT GEOTECHNICAL SOILS ENGINEER PER PROJECT GEOTECHNICAL REPORT.
- D. CONTRACTOR SHALL SURVEY SLAB AFTER PLACEMENT TO KEEP AS-BUILT RECORD OF ELEVATION OF SLAB AND ALL MAJOR CORNERS OF THE SLAB.

SITE INFORMATION SHOWN ON THESE PLANS WAS OBTAINED FROM A TOPOGRAPHIC SURVEY PROVIDED BY POLARIS LAND SURVEY, LLC - 3528 NORTH FLOWING WELLS ROAD, TUCSON, AZ 85705 (322-6400).




NOTE:
THESE DOCUMENTS ESTABLISH THE GENERAL STANDARDS OF QUALITY AND DETAIL FOR DEVELOPING A NEGOTIATED CONSTRUCTION CONTRACT.



ENLARGED SITE PLAN

SCALE 1/8" = 1'-0"



-  EXISTING FRAME HOUSE WALL TO REMAIN
-  EXISTING MASONRY PATIO WALL TO REMAIN
-  EXISTING WALL / ITEM TO BE REMOVED


General Demolition Notes

- A. SAVE ANY / ALL SALVAGEABLE MATERIAL PER OWNER.
- B. PATCH AND REPAIR ALL EXISTING WORK TO REMAIN WHICH HAS BEEN DAMAGED BY ANY DEMOLITION AND / OR CONSTRUCTION.
- C. GENERAL CONTRACTOR IS RESPONSIBLE FOR REMOVAL AND DISPOSAL OF ALL TRASH, DEBRIS AND DEMOLISHED MATERIAL.
- D. REMOVAL OF ITEMS MUST BE IN ACCORDANCE WITH ANY APPLICABLE LOCAL AND STATE CODES OR ORDINANCES AS WORK PROGRESSES.
- E. VERIFY WITH OWNER AND TRASH REMOVAL AGENCY AN APPROPRIATE DUMPSTER LOCATION AND PICK-UP SCHEDULE.
- F. LEAVE AREA OF WORK IN CLEAN CONDITION.
- G. GENERAL CONTRACTOR IS TO COORDINATE ANY SECURITY ISSUES WITH OWNER DURING DEMOTION.
- H. CONFORM TO APPLICABLE CODES FOR DEMOLITION WORK, SAFETY OF ADJACENT STRUCTURES, DUST CONTROL, UTILITY SERVICES AND DISCOVERED HAZARDS.
- I. CONDUCT OPERATIONS WITH MINIMUM INTERFERENCE WITH PUBLIC / PRIVATE ACCESS.
- J. MAINTAIN AND PROTECT EGRESS AND ACCESS AT ALL TIMES. DO NOT CLOSE OR OBSTRUCT ROADWAYS, DRIVES OR SIDEWALKS WITHOUT PERMISSION / PERMIT.
- K. COORDINATE WITH OWNER TO NOTIFY THE ADJACENT PROPERTIES OF WORK WHICH MAY AFFECT THEIR PROPERTY OR POTENTIAL NOISE, UTILITY OUTAGE OR DISRUPTION.
- L. ERECT AND MAINTAIN WATERPROOF, AIRTIGHT AND INSULATED CLOSURES OF EXTERIOR OPENINGS.
- M. FIELD VERIFY LOCATION AND AMOUNT QUANTITIES OF EQUIPMENT, FIXTURES, ETC. TO BE DEMOLISHED.
- N. DEMOLISH AND REMOVE COMPONENTS IN AN ORDERLY AND CAREFUL MANNER.
- O. PROVIDE NECESSARY SECURE STORAGE AREA FOR ANY SALVAGEABLE ITEMS DURING CONSTRUCTION PERIOD.

Demolition Keynotes

1. EXISTING EXTERIOR HOUSE WALL TO REMAIN, TYP. PATCH / REPAIR AS REQUIRED BY NEW WORK.
2. EXISTING PORTION OF PORCH ROOF AND FRAMING ABOVE TO REMAIN.
3. EXISTING PORCH POST TO REMAIN, TYP.
4. PORTION OF PORCH ROOF AND FRAMING ABOVE TO BE REMOVED. PREPARE FOR PORCH EXTENSION PER PLAN.
5. PORCH POST AND FOOTING TO BE REMOVED.
6. EXISTING PATIO / RETAINING WALL TO REMAIN.
7. PORTION OF PATIO / RETAINING WALL TO BE REMOVED. PREPARE FOR NEW WORK.
8. EXISTING PAVER PATIO / WALKWAY TO REMAIN, TYP. ADJUST REMAINING PORTION AS REQUIRED BY NEW WORK.
9. PORTION OF PAVER PATIO / WALKWAY TO BE REMOVED. SALVAGE PAVERS FOR REUSE PER PLAN.
10. BUILT-IN BBQ BASE TO BE REMOVED COMPLETELY. SALVAGE BBQ GRILL AND SINK FOR INSTALLATION IN NEW LOCATION PER OWNER. EXTEND ALL UTILITY CONNECTIONS TO NEW LOCATIONS PER PLAN.

NORTH

 DEMOLITION PLAN

SCALE 1/4" = 1'-0"

NOTE:
THESE DOCUMENTS ESTABLISH THE GENERAL
STANDARDS OF QUALITY AND DETAIL FOR
DEVELOPING A NEGOTIATED CONSTRUCTION
CONTRACT.

Summary - Pima County Inclusive Home Ordinance

BACKGROUND:
IN RESPONSE TO THE NEEDS OF A RAPIDLY GROWING NUMBER OF SENIOR CITIZENS AND PERSONS WITH DISABILITIES, THE PIMA COUNTY BOARD OF SUPERVISORS ADOPTED THE INCLUSIVE HOME DESIGN ORDINANCE. THIS ORDINANCE REQUIRES THAT ALL NEWLY BUILT HOMES OFFER A VERY BASIC LEVEL OF ACCESSIBILITY. REQUIREMENTS OF THIS ORDINANCE, WHICH ARE SUMMARIZED BELOW, ARE A MINIMUM STANDARD. ALTERNATIVE DESIGNS, PRODUCTS, OR TECHNOLOGIES WHICH PROVIDE EQUIVALENT OR SUPERIOR ACCESSIBILITY AND USABILITY, MAY BE USED. THIS ORDINANCE DOES NOT REQUIRE EXISTING HOMES TO BE RETROFITTED.

APPLICATION:
THIS ORDINANCE APPLIES TO ALL DWELLING UNITS (SITE-BUILT HOMES) CONSTRUCTED IN UNINCORPORATED PIMA COUNTY AFTER OCTOBER 8TH, 2002. DWELLING UNITS FOR WHICH PLANS HAVE ALREADY BEEN CERTIFIED PRIOR TO OCTOBER 8TH, 2002 SHALL BE EXEMPT FROM ITS PROVISIONS UNTIL THE DATE OF THEIR NEXT ANNUAL RENEWAL. THESE ARE DETACHED ONE, TWO AND THREE-FAMILY HOMES WHICH HAVE ONE OCCUPIABLE FLOOR AT GRADE LEVEL.

ACCESSIBLE FLOOR:
THIS IS ANY OCCUPIABLE FLOOR WHICH IS LESS THAN ONE STORY ABOVE OR BELOW GRADE, WITH DIRECT ACCESS TO GRADE.

EXTERIOR ACCESSIBLE ROUTE:
THERE SHALL BE AT LEAST ONE EXTERIOR ACCESSIBLE ROUTE TO THE ACCESSIBLE ENTRANCE. THIS ROUTE MAY ORIGINATE FROM THE CARPORT, DRIVEWAY, OR PUBLIC STREET OR SIDEWALK. THE SLOPE OF THIS ACCESSIBLE ROUTE TO THE ACCESSIBLE ENTRANCE SHALL NOT EXCEED ONE FOOT VERTICAL RISE PER TWENTY FEET HORIZONTAL DISTANCE (1:20), UNLESS A RAMP IS CONSTRUCTED COMPLYING WITH THE 2006 INTERNATIONAL RESIDENTIAL CODE; (RAMPS MAY HAVE A GRADE OF 1:12).

ACCESSIBLE ENTRANCE:
THERE SHALL BE AT LEAST ONE NO-STEP, ACCESSIBLE ENTRANCE TO THE HOME. THIS ENTRANCE MAY BE AT THE FRONT, BACK, SIDE, GARAGE OR CARPORT OF THE HOME, BUT MAY NOT BE THROUGH A BEDROOM. THE DOOR OF THIS ENTRANCE SHALL BE 32" WIDE MINIMUM AND SHALL MEET THE DOOR HARDWARE REQUIREMENTS DESCRIBED IN THIS PAMPHLET.

INTERIOR ACCESSIBLE ROUTE:
AT LEAST ONE ACCESSIBLE ROUTE SHALL CONNECT ALL SPACES AND ELEMENTS WHICH ARE A PART OF THE ACCESSIBLE FLOOR OF THE HOME. EXCEPTIONS TO THE INTERIOR ACCESSIBLE ROUTE PROVISION INCLUDE A RAISED OR SUNKEN PORTION OF A LIVING, DINING OR SLEEPING ROOM. THIS ROUTE SHALL NOT PASS THROUGH BATHROOMS, CLOSETS, OR SIMILAR SPACES. AS PER EXISTING CODE, THIS ROUTE IS REQUIRED TO BE 36" WIDE MINIMUM.

THRESHOLDS:
THRESHOLDS AT THE ACCESSIBLE ENTRANCE AND ALONG ACCESSIBLE ROUTES MAY BE 1/2 INCH HIGH MAXIMUM. CHANGES IN LEVEL WHICH EXCEED 1/4 INCH HIGH, SHALL BE BEVELED, WITH A SLOPE NOT STEEPER THAN ONE INCH RISE TO 2 INCH RUN (1:2).

INTERIOR DOORS:
DOORWAYS ON THE ACCESSIBLE ROUTE SHALL HAVE A CLEAR OPENING OF 30 INCHES WIDE MINIMUM. A 32" (2' 8") WIDE DOOR SATISFIES THESE REQUIREMENTS. THIS DOOR SHALL CONTAIN HARDWARE MEETING THE DOOR HARDWARE REQUIREMENTS DESCRIBED IN THIS PAMPHLET.

DOOR HARDWARE:
HANDLES, PULLS, LATCHES, LOCKS, AND OTHER OPERABLE PARTS ON ACCESSIBLE DOORS SHALL HAVE A SHAPE THAT IS EASY TO GRASP WITH ONE HAND AND THAT DOES NOT REQUIRE TIGHT GRASPING, PINCHING, OR TWISTING OF THE WRIST TO OPERATE. LEVER HARDWARE SATISFIES THE REQUIREMENTS OF THIS PROVISION.

BATHROOM WALL REINFORCEMENT:
IN BATHROOMS ON THE ACCESSIBLE ROUTE, REINFORCEMENT SHALL BE INSTALLED TO ALLOW THE FUTURE INSTALLATION OF GRAB BARS ON WALLS ADJACENT TO THE TUB AND TOILET. IN ADDITION, REINFORCEMENT SHALL BE INSTALLED IN SHOWER COMPARTMENTS FOR FUTURE INSTALLATION OF GRAB BARS. THIS REINFORCEMENT SHALL BE INSTALLED FLUSH WITH THE STUDS AND AT THE FOLLOWING LOCATIONS:

TOILET: 33"-36" ABOVE THE FLOOR ON ALL ADJACENT WALLS. HORIZONTAL LENGTH OF REINFORCEMENT SHALL BE SUFFICIENT TO ALLOW A 42" GRAB BAR AND 24" REAR GRAB BAR. NOTE: NOTHING IN THE ORDINANCE REQUIRES THAT THE TOILET BE PLACED BY A SIDE WALL.

TUB: HORIZONTAL LENGTH REINFORCEMENT SHALL BE SUFFICIENT TO ALLOW FOR
A) BACK WALL: TWO BACKING REINFORCEMENTS, ONE BACKING REINFORCEMENT HORIZONTAL POSITION 33" MINIMUM AND 36" MAXIMUM ABOVE THE FLOOR, AND ONE BACKING REINFORCEMENT 9" ABOVE THE RIM OF THE BATHTUB. EACH BACKING REINFORCEMENT SHALL BE 24" LONG MINIMUM AND SHALL BE 24" MAXIMUM FROM THE HEAD END WALL AND 12" MAX FROM THE FOOT END WALL.
B) FOOT END WALL: ONE BACKING REINFORCEMENT 24" LONG MINIMUM ON THE FOOT END WALL AT THE FRONT EDGE OF THE BATHTUB.
C) HEAD END WALL: ONE BACKING REINFORCEMENT 12" LONG MINIMUM ON THE HEAD END WALL AT THE FRONT EDGE OF THE BATHTUB.
D) SHOWER WALLS SHALL HAVE BACKING ON A MINIMUM OF TWO WALLS NOT TO INCLUDE CONTROL VALVE WALL MOUNTED AT 33" - 36" ABOVE SHOWER FLOOR.

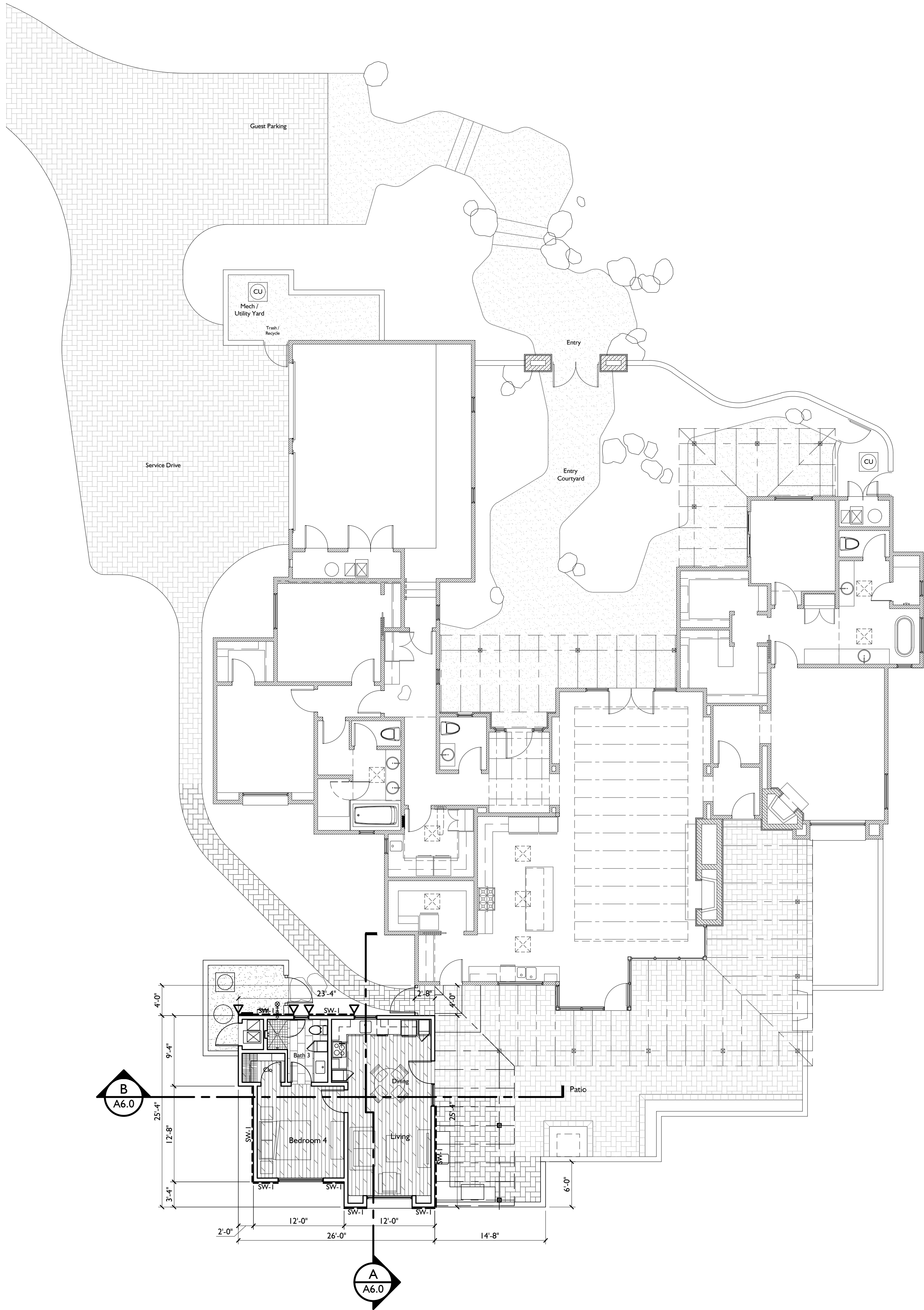
ALL WALL REINFORCEMENT SHALL BE CAPABLE OF RESISTING SHEAR AND BENDING FORCES OF A MINIMUM OF 250 POUNDS. REINFORCEMENT IS NOT REQUIRED AT THE LOCATION OF VANITIES, LINEN CLOSETS, AND PRE-MOLDED SHOWER/TUB SURROUNDS, OR IN A ROOM CONTAINING ONLY A SINK AND A TOILET, PROVIDED THAT THE ROOM DOES NOT CONTAIN THE ONLY SINK OR TOILET ON THE ACCESSIBLE FLOOR OF THE HOME.

ELECTRICAL:
· ALL LIGHT CONTROLS SHALL BE PLACED NO HIGHER THAN 48" ON CENTER, ABOVE THE FLOOR.
· WHERE PRACTICAL, ALL ELECTRICAL RECEPTACLES SHALL BE PLACED NO LOWER THAN 15" ON CENTER, ABOVE THE FLOOR.
· ALL THERMOSTATS SHALL BE PLACED NO HIGHER THAN 54" ON CENTER, ABOVE THE FLOOR.

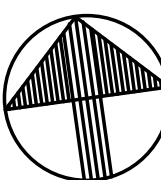
THE EXCEPTIONS TO THESE PROVISIONS ARE AS FOLLOWS:
1. ELECTRICAL RECEPTACLES SERVING A DEDICATED USE.
2. APPLIANCE MOUNTED CONTROLS OR SWITCHES.
3. A SINGLE OUTLET WHERE ALL THE FOLLOWING CONDITIONS ARE MET:
D) THE OUTLET IS ABOVE A LENGTH OF COUNTERTOP THAT IS UNINTERRUPTED BY A SINK OR APPLIANCE; AND
E) AT LEAST ONE RECEPTACLE IS PROVIDED FOR THAT LENGTH OF COUNTERTOP; AND
F) ALL OTHER RECEPTACLES PROVIDED FOR THAT LENGTH OF COUNTERTOP SET NO HIGHER THAN 48".
4. FLOOR ELECTRICAL RECEPTACLES.
5. PLUMBING FIXTURE CONTROLS.
6. HVAC DIFFUSERS.
7. CEILING FAN MOUNTED CONTROLS.

WAIVER PROVISIONS
UPON A DETERMINATION BY THE BUILDING OFFICIAL THAT BY VIRTUE OF TERRAIN OR OTHER UNUSUAL CHARACTERISTICS OF THE BUILDING SITE, THERE ARE PRACTICAL DIFFICULTIES ASSOCIATED WITH COMPLIANCE OF ANY SPECIFIC PROVISION OF THIS STANDARD, AND THAT THE ADDITIONAL COST TO COMPLY WITH THE APPLICABLE PROVISION OF THIS STANDARD SHALL EXCEED TWO HUNDRED DOLLARS, AS SHOWN BY CLEAR AND CONVINCING EVIDENCE PRESENTED BY THE APPLICANT, THE BUILDING OFFICIAL MAY WAIVE THE REQUIREMENTS OF THAT SPECIFIC PROVISION.

NOTE:
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NORTH



REFERENCE FLOOR PLAN

SCALE 1/8"=1'-0"

Floor Plan Wall Legend

- MASONRY PATIO WALL
- WOOD FRAME WALL

General Floor Plan Notes

- ALL WOOD PLATES, INTERIOR AND EXTERIOR, TO BE PRESSURE TREATED OR FOUNDATION REDWOOD.
- ALL STRUCTURAL LUMBER IS TO BE GRADE STAMPED.
- FOUNDATIONS SUPPORTING WOOD SHALL EXTEND AT LEAST 6" ABOVE THE ADJACENT FINISH GRADE.
- ESCAPE OR RESCUE WINDOWS SHALL HAVE A MINIMUM NET CLEAR OPENABLE AREA OF 5.7 SQUARE FEET. (MINIMUM WIDTH = 20" / MINIMUM HEIGHT = 24" / MAXIMUM SILL HEIGHT = 44").
- SAFETY GLAZING REQUIRED FOR ALL WINDOWS WITHIN 24" ARC OF EITHER VERTICAL EDGE OF DOOR.
- FRAME WALLS AT WET AREAS TO HAVE A TAPED, WATERPROOF CONTENTIOUS BACKING OR EQUAL.
- INSULATE ALL EXTERIOR WALLS / ROOF AT BOUNDARY HEATED AND COOLED SPACE TYP.
- INSULATE ALL INTERIOR WALLS WITH BATT INSULATION FOR ACOUSTIC CONTROL TYP.
- SMOKE DETECTORS SHALL RECEIVE THEIR PRIMARY POWER FROM THE BUILDING WIRING AND BE EQUIPPED WITH A BATTERY BACKUP. DETECTORS SHALL SOUND AN ALARM AUDIBLE IN ALL SLEEPING AREAS OF THE DWELLING UNIT IN WHICH THEY ARE LOCATED (INTERCONNECTING MAY BE REQUIRED). SEE ELECTRICAL PLAN FOR LOCATIONS.

Shear Wall Schedule

SHEAR WALL (SW) SCHEDULE					
MATERIALS, ATTACHMENTS AND VALUES PER 2012 IBC					
MARK	SIZE	SILL PLATE ATTACHMENT	REMARKS	ALLOW SHEAR PLF* DF / HF	STUDS @ 16" O.C.
SW-1	3/8" APA "CDX" SHEATHING W/ 8d NAILS @ 6" O.C. @ EDGES AND 12" O.C. @ FIELD - BLOCK PLYWOOD EDGES	1/2" ABS @ 32" O.C. - OR - 3300X x 3" RAMSET / REDHEAD DRIVE PINS @ 8" O.C.	---	220 / 189	260 / 322
SHEAR WALL NOTES:					
1. ALL PANEL EDGES SHALL BE BACKED WITH MINIMUM 2 INCH NOMINAL FRAMING AS NOTED ABOVE.					
2. SHEARWALLS SHOULD HAVE STUDS SPACED NO MORE THAN 16" O.C.					
3. BLOCKING SHALL BE PROVIDED NEAR MID-HEIGHT OF WALL AT SHEATHING JOINT.					
4. SPACING APPLIES TO NAILING AT ALL STUDS TOP AND BOTTOM PLATES, BLOCKING AT STRAPS, AND BLOCKING.					
5. SEE ARCHITECTURAL DRAWINGS FOR ADDITIONAL (FINISHED SURFACE) WALL COVERINGS NOT NOTED.					

△ INDICATES HTT4 W/ 18 - 16d SINKER NAILS INTO DOUBLE STUD & 5/8" DIA THREADED ROD X 5" EMBED INTO SIMPSON SET ADHESIVE (REQUIRES SPECIAL INSPECTION).



THIS DRAWING HAS BEEN PREPARED BY OTHERS AND REVIEWED FOR STRUCTURAL ITEMS ONLY.



Revisions

REFERENCE FLOOR PLAN,
SHEAR WALL SCHEDULE

GARIGAN RESIDENCE
GUEST HOUSE
7288 North Cathedral Rock Road
Tucson, Arizona 85718

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Project 24087

Date 1.30.25

Scale Noted

Sheet

A2.0



Revisions

Wall Type Notes

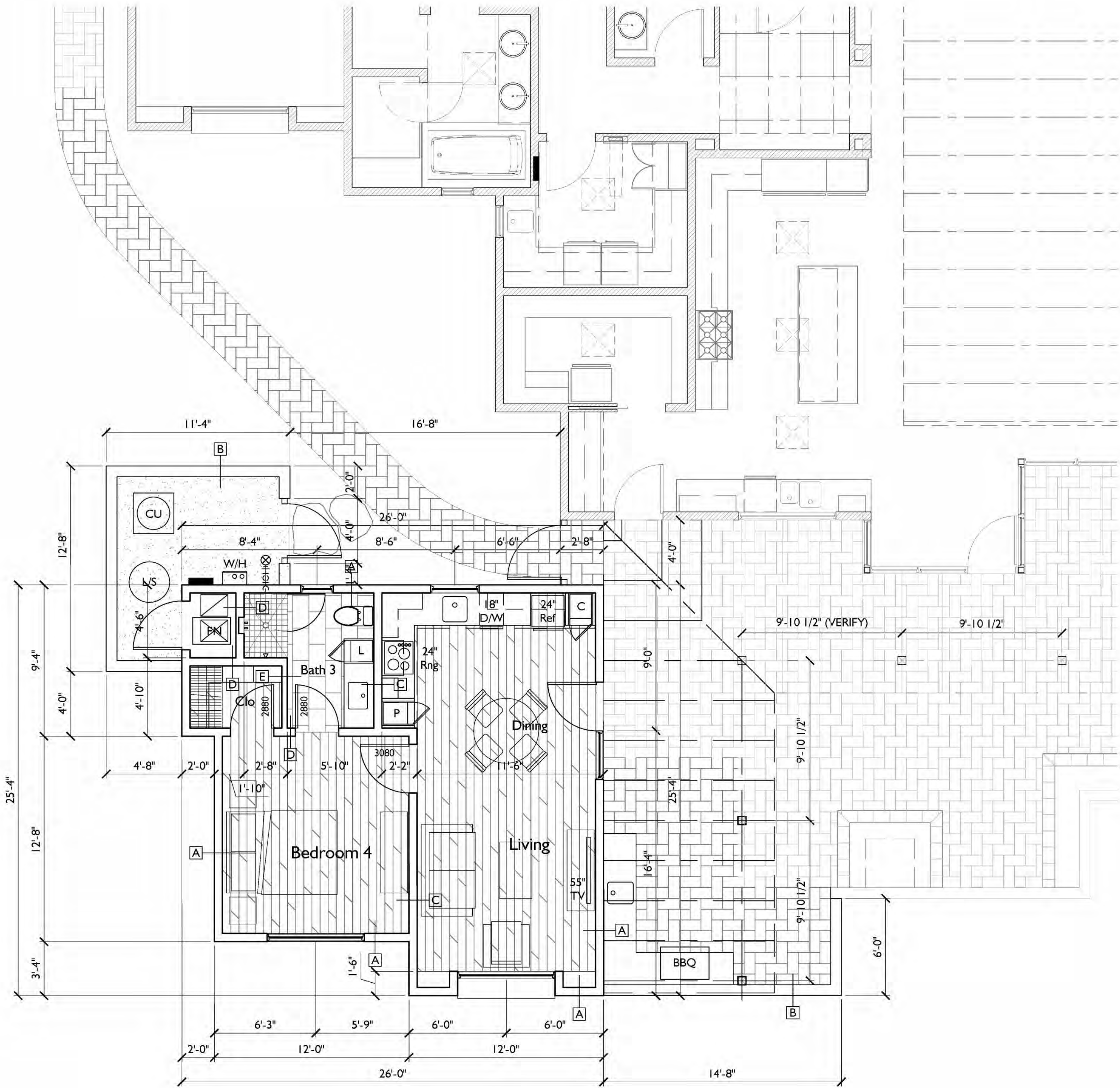
- USE 5/8" MOISTURE RESISTANT GYPSUM BOARD IN ALL WET AREAS.
- USE 1/2" DUROROCK CEMENT BOARD UNDER TILE AS OCCURS.
- PROVIDE FULL DEPTH ACOUSTIC INSULATION IN ALL INTERIOR PARTITIONS.
- G.C. TO VERIFY ALL DIMENSIONS AND CONDITIONS SHOWN ON THE DRAWINGS @ THE JOB SITE & NOTIFY ARCHITECT OF ANY OMISSIONS, DISCREPANCIES AND / OR CONFLICTS BEFORE PROCEEDING W/ WORK.
- FINISH ALL INTERIOR WALLS FINISH WITH LEVEL 4 FINISH / VERIFY REQUIREMENTS / COORDINATE GYPBOARD INSTALLATION / DETAILS WITH OWNER / ARCHITECT FOR WALL ROUGH-INS.
- SEAL TOP & BOTTOM JOIST, AND ALL PENETRATIONS, AIR TIGHT W/ PROPERLY RATED FIRE STOPPING MATERIAL.

Wall Types

- A.** EXTERIOR WALL: PAINTED, SAND FINISH STUCCO ON WIRE LATH, 1" T&G INSULATION BOARD, (2) LAYERS OF #15 PAPER, EXTERIOR SHEATHING PER PLAN / GSN ON 2x6 WOOD STUDS AT 16" O.C.. WEEP SCREED MIN. 4" ABOVE EARTH OR 2" ABOVE CONCRETE. MIN. 5 1/2" BATT INSULATION BETWEEN. 1/2" GYPSUM WALL BOARD WITH TEXTURE FINISH APPROVED BY OWNER ON INTERIOR SIDE. REFER TO SHEAR WALL SCHEDULE FOR TYPICAL NAILING & ANCHOR BOLT SPECIFICATIONS.
- B.** PATIO WALL: 8X8X16 CMU WALL WITH PAINTED, SAND FINISH STUCCO.
- C.** BEARING PARTITION: 2X6 WOOD STUDS @ 16" O.C. W/ 1/2" GYP BOARD EACH SIDE.
- D.** NON-BEARING PARTITION: 2X6 WOOD STUDS @ 24" O.C. W/ 1/2" GYP BOARD (DUROROCK BACKER BOARD ON ALL WET WALLS).
- E.** NON-BEARING PARTITION: 2X4 WOOD STUDS @ 24" O.C. W/ 1/2" GYP BOARD.

Floor Finish Legend

- ENGINEERED WOOD FLOOR
- PORCELAIN TILE



DIMENSIONED FLOOR PLAN

SCALE 1/4" = 1'-0"

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CONTRACT.

DIMENSIONED FLOOR PLAN

**GARIGAN RESIDENCE
GUEST HOUSE**
7288 North Cathedral Rock Road
Tucson, Arizona 85718

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Project 24087

Date 1.30.25

Scale Noted

Sheet

A2.1



Revisions

Floor Plan Wall Legend

- MASONRY PATIO WALL
- WOOD FRAME WALL

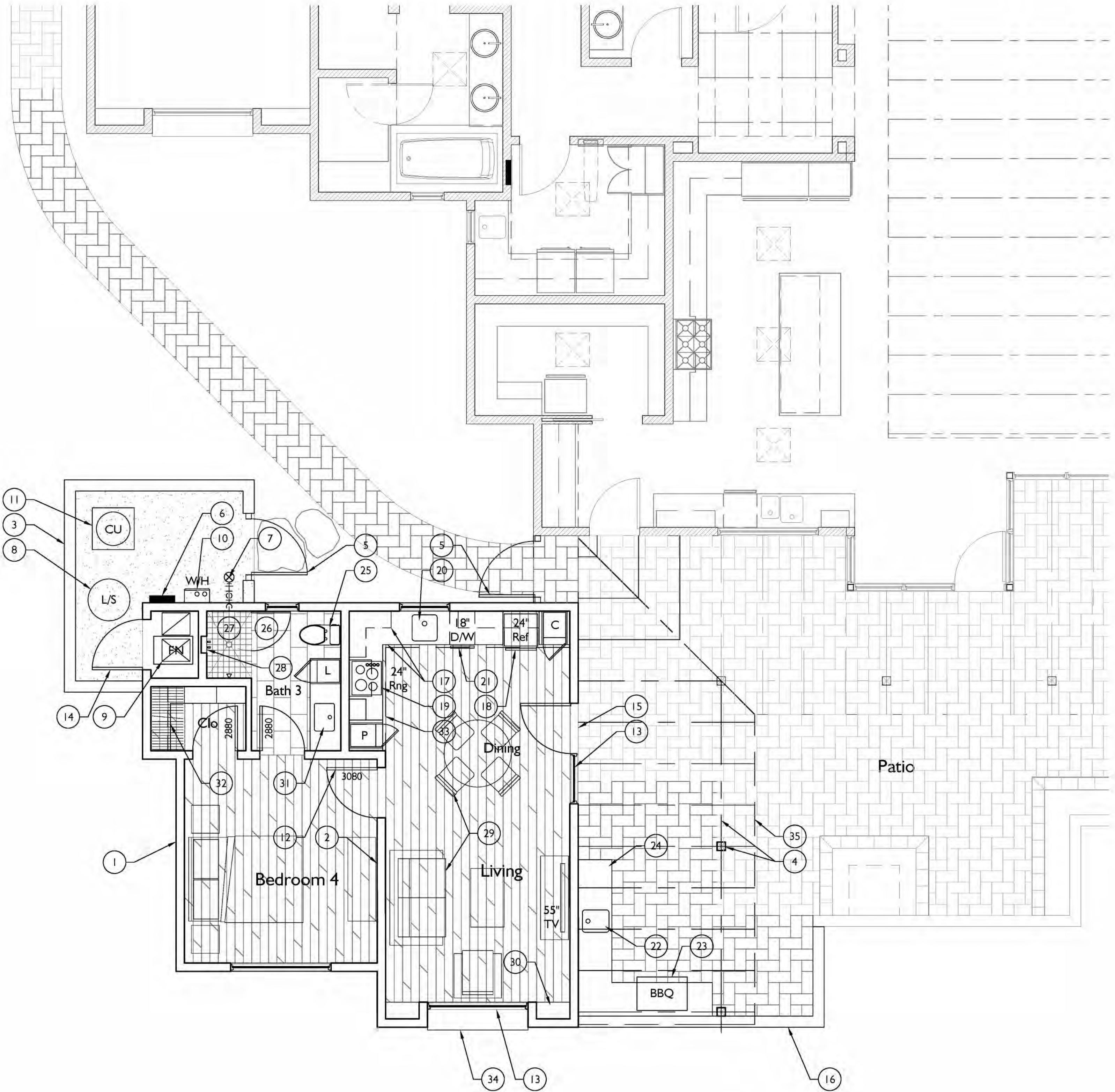
Floor Finish Legend

- ENGINEERED WOOD FLOOR
- PORCELAIN TILE

Floor Plan Keynotes

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- TYPICAL WOOD FRAME EXTERIOR WALL PER WALL TYPES SHEET A2.1.
- TYPICAL INTERIOR WALL PER WALL TYPES SHEET A2.1.
- MASONRY MECHANICAL / UTILITY ENCLOSURE WALL W/ PAINTED STUCCO FINISH. SEE FOUNDATION PLAN / DETAILS.
- ROUGH SAWN WOOD POST / BEAMS PER FRAMING PLAN.
- CUSTOM STEEL / WOOD SERVICE GATE.
- ELECTRICAL SUB-PANEL LOCATION.
- WATER SHUT-OFF VALVE LOCATION.
- WASTE LIFT STATION / SEWER EJECTOR. SEE PLUMBING PLAN.
- FURNACE / AIR HANDLER LOCATION.
- TANKLESS GAS WATER HEATER LOCATION.
- OUTDOOR CONDENSING UNIT LOCATION.
- CUSTOM WOOD INTERIOR DOOR TO MATCH HOUSE STANDARD.
- ALUMINUM CLAD WOOD WINDOW / DOOR SYSTEM, TYP. SEE WINDOW ELEVATIONS SHEET A5.0.
- FULLY LOUVERED METAL MECHANICAL ROOM DOOR PAINTED TO MATCH RESIDENCE.
- NO-STEP (1/2" MAX) THRESHOLD @ ENTRY DOOR.
- MASONRY PATIO / RETAINING WALL W/ PAINTED STUCCO FINISH TO ALIGN WITH AND MATCH EXISTING. SEE FOUNDATION PLAN / DETAILS.
- CUSTOM BUILT-IN BASE / UPPER CABINETS / SHELVES. SEE INTERIOR ELEVATIONS SHEET A7.0
- 24" REFRIGERATOR LOCATION.
- 24" ELECTRIC COOK TOP W/ HOOD ABOVE.
- KITCHEN SINK W/ GARBAGE DISPOSAL.
- 18" DISHWASHER LOCATION.
- SALVAGED OUTDOOR BBQ / BAR SINK.
- SALVAGED BUILT-IN BBQ.
- CUSTOM MASONRY / METAL BASE CABINETS W/ STONE COUNTERTOP AT OUTDOOR KITCHEN PER OWNER.
- FLOOR MOUNTED TOILET LOCATION.
- CUSTOM TEMPERED GLASS FRAMELESS SHOWER DOOR / ENCLOSURE (MINIMUM 22" CLEAR UNOBSTRUCTED OPENING PER IRC, SEC. P2708.1.1).
- FULL HEIGHT TILED SHOWER WALLS WITH SLOPED TILE FLOOR TYP @ SHOWERS.
- TILED SHOWER SHELF / SHAMPOO NICHE PER OWNER. COORDINATE ALL REQUIREMENTS.
- FURNITURE LOCATION PER OWNER. TYP. COORDINATE ALL REQUIREMENTS.
- CUSTOM BUILT-IN BOOKSHELVES IN NICHE PER OWNER.
- CUSTOM MASTER BATH VANITY CABINET.
- CUSTOM WALK-IN CLOSET SYSTEM PER OWNER. COORDINATE ALL REQUIREMENTS.
- DASHED LINE INDICATES SOFFIT / CEILING TRANSITION ABOVE. SEE REFLECTED CEILING PLAN A3.0 FOR ADDITIONAL INFORMATION.
- SLOPED STUCCO WINDOW SILL, TYP.
- DASHED LINE INDICATES ROOF LINE / OVERHANG ABOVE.



KEYNOTED FLOOR PLAN

SCALE 1/4" = 1'-0"

NOTE:
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STANDARDS OF QUALITY AND DETAIL FOR
DEVELOPING A NEGOTIATED CONSTRUCTION
CONTRACT.

KEYNOTED
FLOOR PLAN

GARIGAN RESIDENCE
GUEST HOUSE
7288 North Cathedral Rock Road
Tucson, Arizona 85718

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Sheet

A2.2



Revisions

Legend

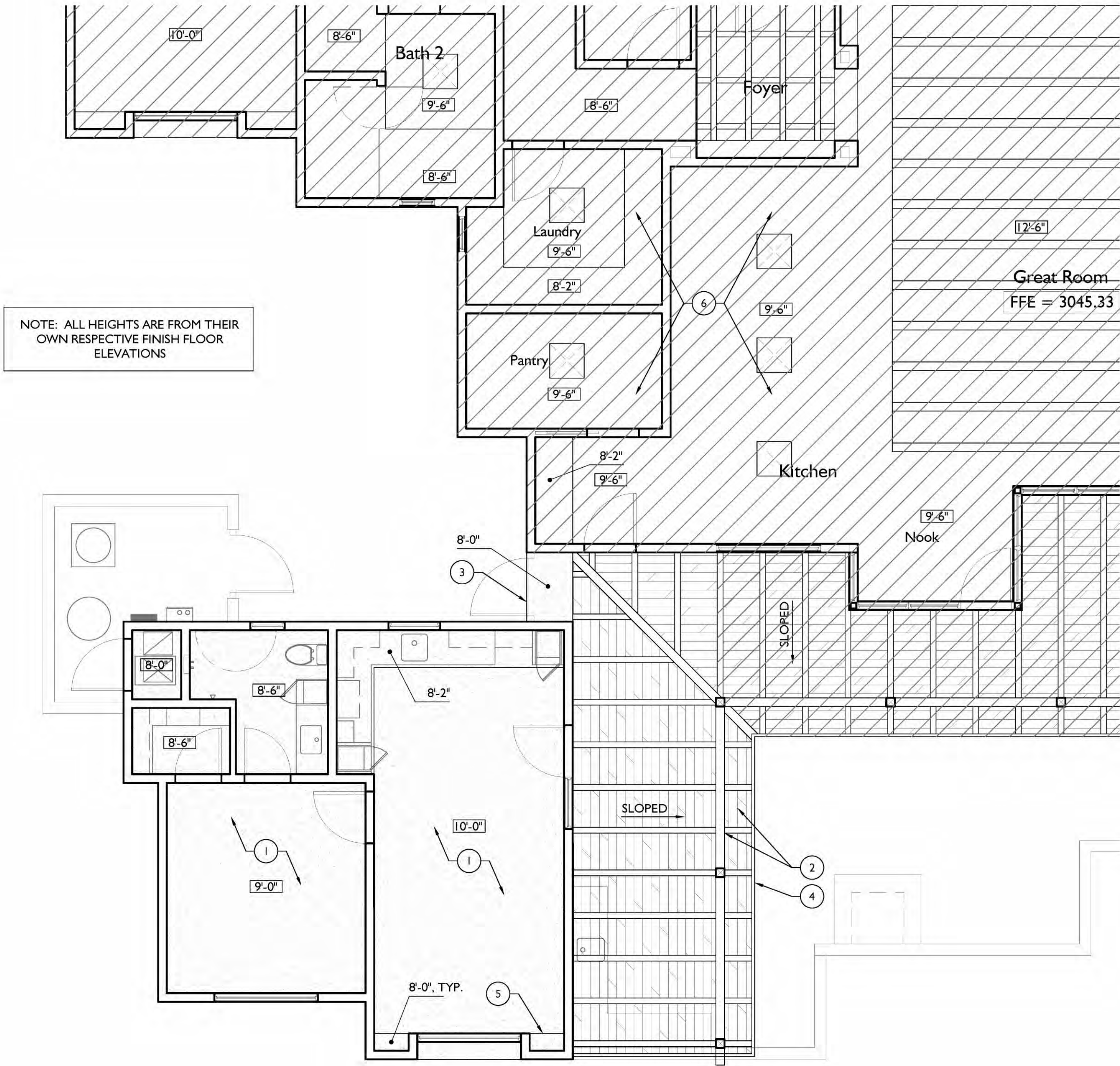
- 2X6 T&G WOOD DECKING
- 1/2" GYPBOARD TAPED AND TEXTURED
(USE "SAG RESISTANT" GYPBOARD AT FRAMING OF 24" O.C. OR
GREATER TYP.).
- PAINTED STUCCO

RCP General Notes

- A. ALL HEIGHTS LISTED OCCUR ABOVE THEIR OWN FINISH FLOOR
ELEVATION.
- B. ALL CEILING INSULATION IS TO THE BOTTOM OF ROOF SHEATHING (NO
ATTIC VENTILATION CALCULATIONS ARE REQUIRED).
- C. UN-VENTED ATTIC PER IRC SECTION R104.1.1 "ALTERNATIVE MATERIALS,
DESIGN AND METHODS OF CONSTRUCTION AS APPROVED BY THE
LOCAL JURISDICTIONS".

RCP Keynotes

1. 1/2" GYPBOARD CEILING TAPED AND TEXTURED TO MATCH HOUSE
STANDARD TYP. UNO.
2. EXTERIOR / STRUCTURAL WOOD BEAMS AND 2X WOOD DECKING PER
FRAMING PLAN. PAINT / STAIN TO MATCH EXISTING.
3. EXTERIOR SOFFIT / HEADER W/ PAINTED STUCCO FINISH TO MATCH
HOUSE STANDARD. VERIFY HEIGHT IN FIELD.
4. 2X WOOD FASCIA. SEE DETAILS.
5. GYPBOARD SOFFIT / CEILING TRANSITION. HEIGHT AS INDICATED.
6. EXISTING HOUSE CEILING TO REMAIN. PATCH / REPAIR AS REQUIRED BY
NEW WORK.



REFLECTED CEILING PLAN

SCALE 1/4" = 1'-0"

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REFLECTED CEILING PLAN

GARIGAN RESIDENCE
GUEST HOUSE
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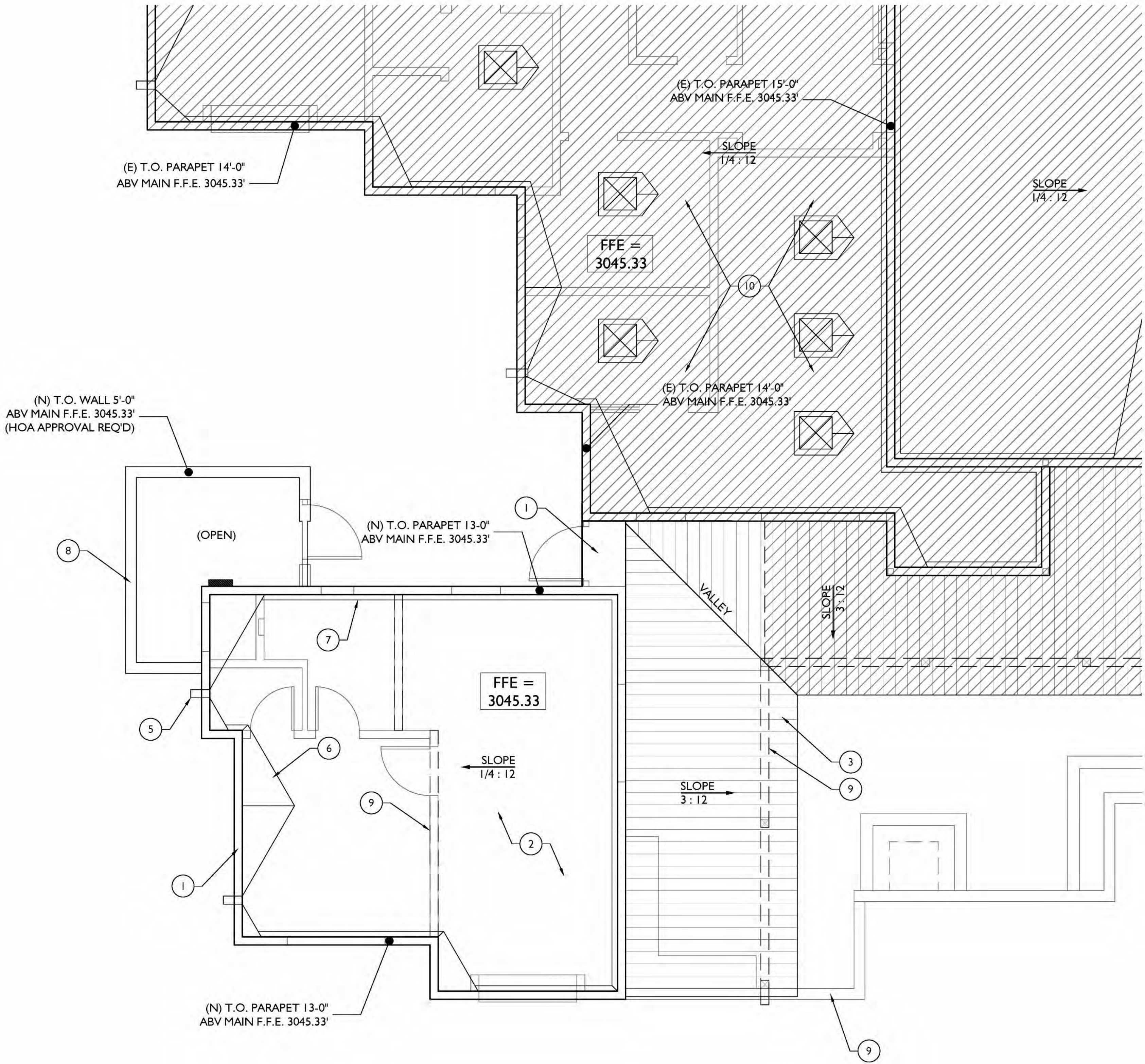
Revisions

Roof Plan Legend

T.O.PARAPET	TOP OF PARAPET
T.O.RIDGE	TOP OF RIDGE
T.O.CHIMNEY	TOP OF CHIMNEY (MASONRY)
T.O.W	TOP OF WALL
F.F.E	FINISHED FLOOR ELEVATION

Roof Plan Keynotes

1. STUCCO WRAPPED PARAPET CAP TO MATCH EXISTING, TYP.
2. 3-PLY BUILT-UP ROOF WITH TINTED ELASTOMERIC COATING TO MATCH RESIDENCE.
3. 2-PIECE CLAY BARREL ROOF TILE OVER 2X T&G DECK PER PLAN.
4. 24" SQUARE CLEAR INSULATED CURB-MOUNTED SKYLIGHTS. INSTALL PER MANUFACTURER'S SPECIFICATIONS.
5. CLAY PIPE SCUPPER, TYP.
6. PLYWOOD CRICKET.
7. 4" CANT STRIP AT ROOF PERIMETER.
8. MASONRY PATIO / UTILITY YARD WALL BELOW W/ STUCCO FINISH.
9. BEARING WALL / BEAM BELOW PER FRAMING PLAN.
10. EXISTING HOUSE ROOF TO REMAIN.



NORTH
ROOF PLAN
SCALE 1/4" = 1'-0"

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ROOF PLAN

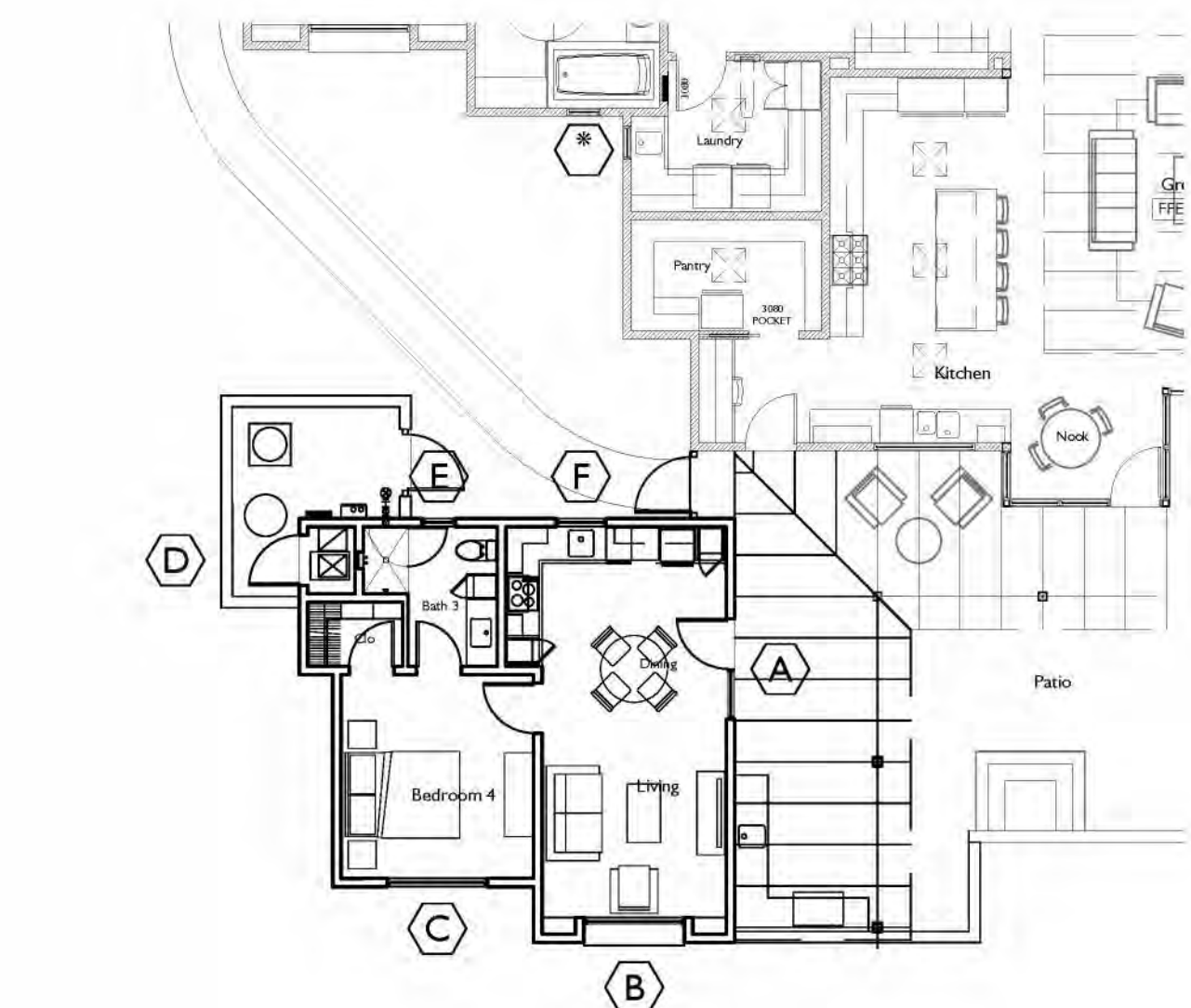
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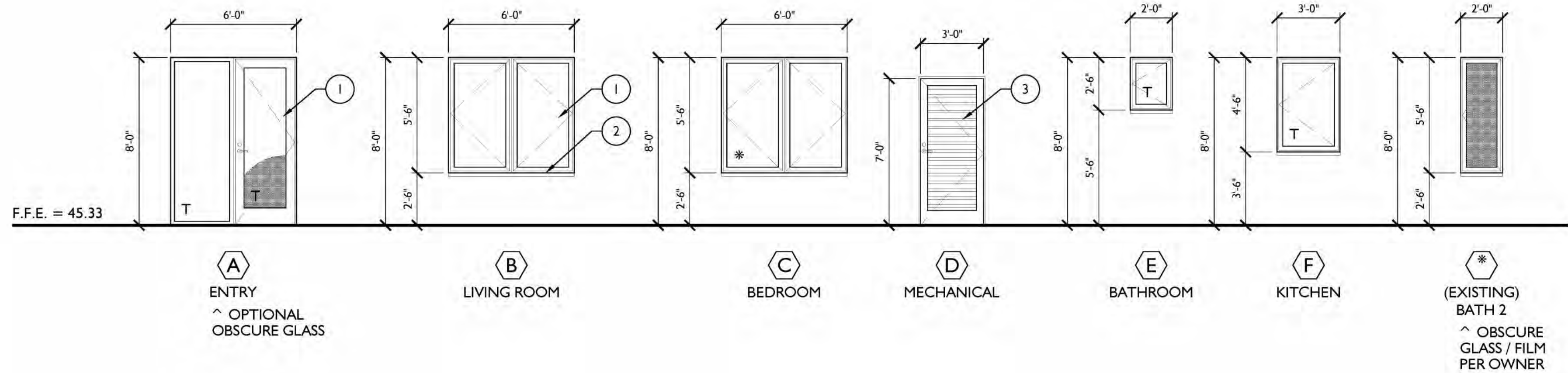
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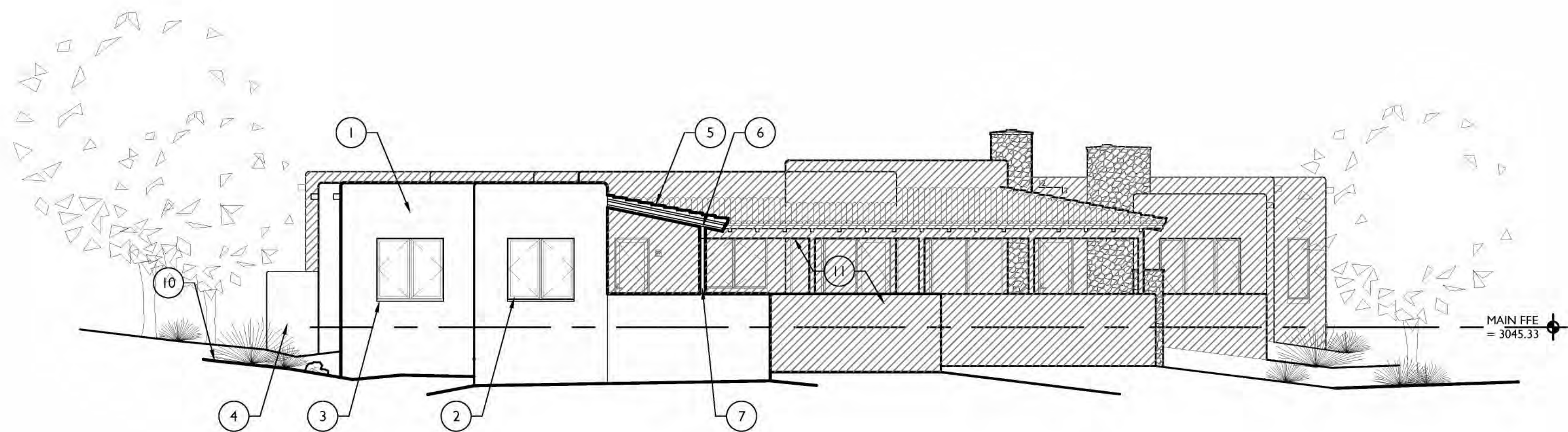
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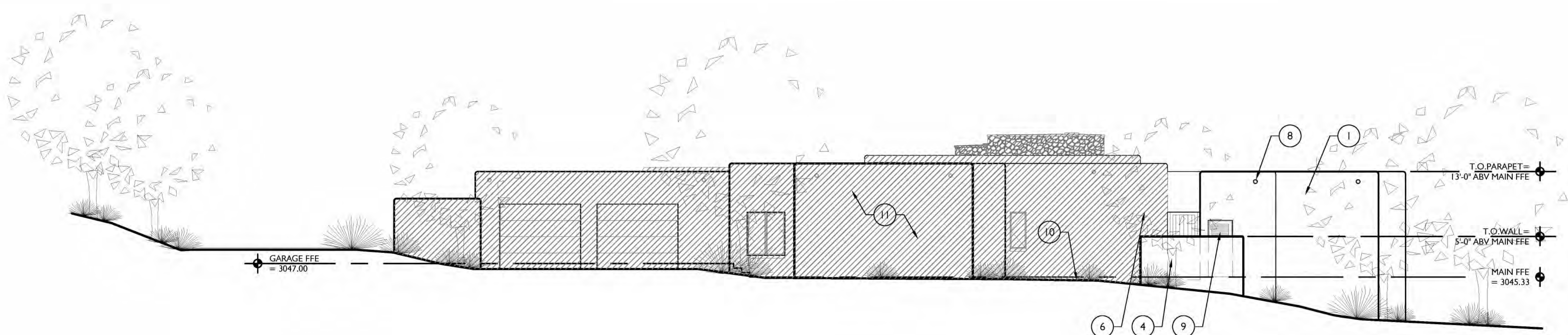
NORTH
KEY PLAN
SCALE 3/32" = 1'-0"



WINDOW & DOOR ELEVATIONS
SCALE 1/4" = 1'-0"



SOUTH ELEVATION
Scale 1/8" = 1'-0"



WEST ELEVATION
Scale 1/8" = 1'-0"

Window General Notes

- SAFETY GLAZING REQUIRED FOR ALL WINDOWS WITHIN A 24" ARC OF EITHER VERTICAL EDGE OF A DOOR / GLAZING WITHIN 18" ABOVE FINISH FLOOR PER 2012 IRC SECTION R308.4.
- SAFETY GLAZING REQUIRED FOR BATHROOM / SHOWER WINDOWS LESS THAN 60" ABOVE DRAIN.
- ESCAPE OR RESCUE WINDOWS SHALL HAVE A MINIMUM NET CLEAR OPERABLE AREA OF 5.7 SQUARE FEET. MINIMUM NET CLEAR OPERABLE HEIGHT DIMENSION SHALL BE 24". MINIMUM NET CLEAR OPERABLE WIDTH DIMENSION SHALL BE 20". WINDOWS SHALL HAVE A MAXIMUM SILL HEIGHT NOT MORE THAN 44" ABOVE FINISH FLOOR.
- BASEMENT AND SLEEPING ROOMS ARE REQUIRED TO HAVE MINIMUM 1 (ONE) WINDOW OR DOOR APPROVED FOR EMERGENCY ESCAPE OR RESCUE WHICH OPENS DIRECTLY TO A PUBLIC WAY.
- ALL EGRESS DOORS SHALL BE READILY OPENABLE FROM THE EGRESS SIDE WITHOUT THE USE OF A KEY OR SPECIAL KNOWLEDGE OR EFFORT.
- ALL WINDOW HEIGHTS OCCUR ABOVE THEIR OWN FINISHED FLOOR.
- INSTALL APPROVED CORROSION RESISTANT FLASHING AT TOP OF ALL EXTERIOR WINDOWS AND DOOR OPENINGS PER 2012 IRC SECTION R703.8.
- VERIFY WINDOW DIMENSIONS / ROUGH OPENINGS / OPERATION W/ OWNER PRIOR TO FABRICATION.

Window Keynotes

- ALUMINUM CLAD WOOD WINDOW / DOOR SYSTEM TO MATCH EXISTING, TYP.
- SLOPE STUCCO SILL, TYP.
- FULLY LOUVERED HOLLOW METAL EXTERIOR DOOR. PAINT TO MATCH ADJACENT EXTERIOR WALL.

System Performance

- SIERRA PACIFIC ALUMINUM CLAD WOOD WINDOW / DOOR SYSTEM, TYP. MATCH EXISTING WINDOWS / DOORS.
- INSULATED / DOUBLE PANE GLAZING / CLEAR COLOR.
- LOW 'e' COATING
- U-FACTOR = 0.40 OR BETTER
- SHGC = 0.25 OR BETTER
- PROVIDE BUILT-IN INSECT PROTECTION SCREENS AT ALL OPERABLE WINDOWS UNLESS NOTED OTHERWISE.

Window Legend

- | | |
|--|--------------------------------|
| | OPERABLE WINDOW OR DOOR SYSTEM |
| | FIXED WINDOW |
| | TEMPERED GLASS |
| | ESCAPE OR RESCUE WINDOW |
| | FROSTED / OBSCURED GLASS |

Elevation Keynotes

- PAINTED STUCCO FINISH OVER 2X WOOD FRAME WALL PER PLAN.
- ALUMINUM CLAD WOOD WINDOW / DOOR SYSTEM. SEE WINDOW ELEVATIONS THIS SHEET FOR ADDITIONAL INFORMATION.
- SLOPED STUCCO WINDOW SILL TYP UNO.
- MASONRY WALL / UTILITY YARD W/ PAINTED STUCCO FINISH.
- 2-PIECE CLAY ROOF TILE OVER 2X WOOD DECK / PER PLAN.
- ROUGH SAWN WOOD BEAM PER PLAN.
- ROUGH SAWN WOOD POST PER PLAN.
- CLAY DRAIN TILE SCUPPER. SEE ROOF PLAN SHEET A4.0 FOR ADDITIONAL INFORMATION.
- FULLY LOUVERED METAL MECHANICAL ROOM DOOR PAINTED TO MATCH RESIDENCE.
- APPROXIMATE FINISH GRADE.
- HATCHED AREA INDICATES EXISTING RESIDENCE / CONSTRUCTION TO REMAIN, TYP.

EXTERIOR ELEVATIONS,
DOOR & WINDOW
ELEVATIONS

GARIGAN RESIDENCE
GUEST HOUSE
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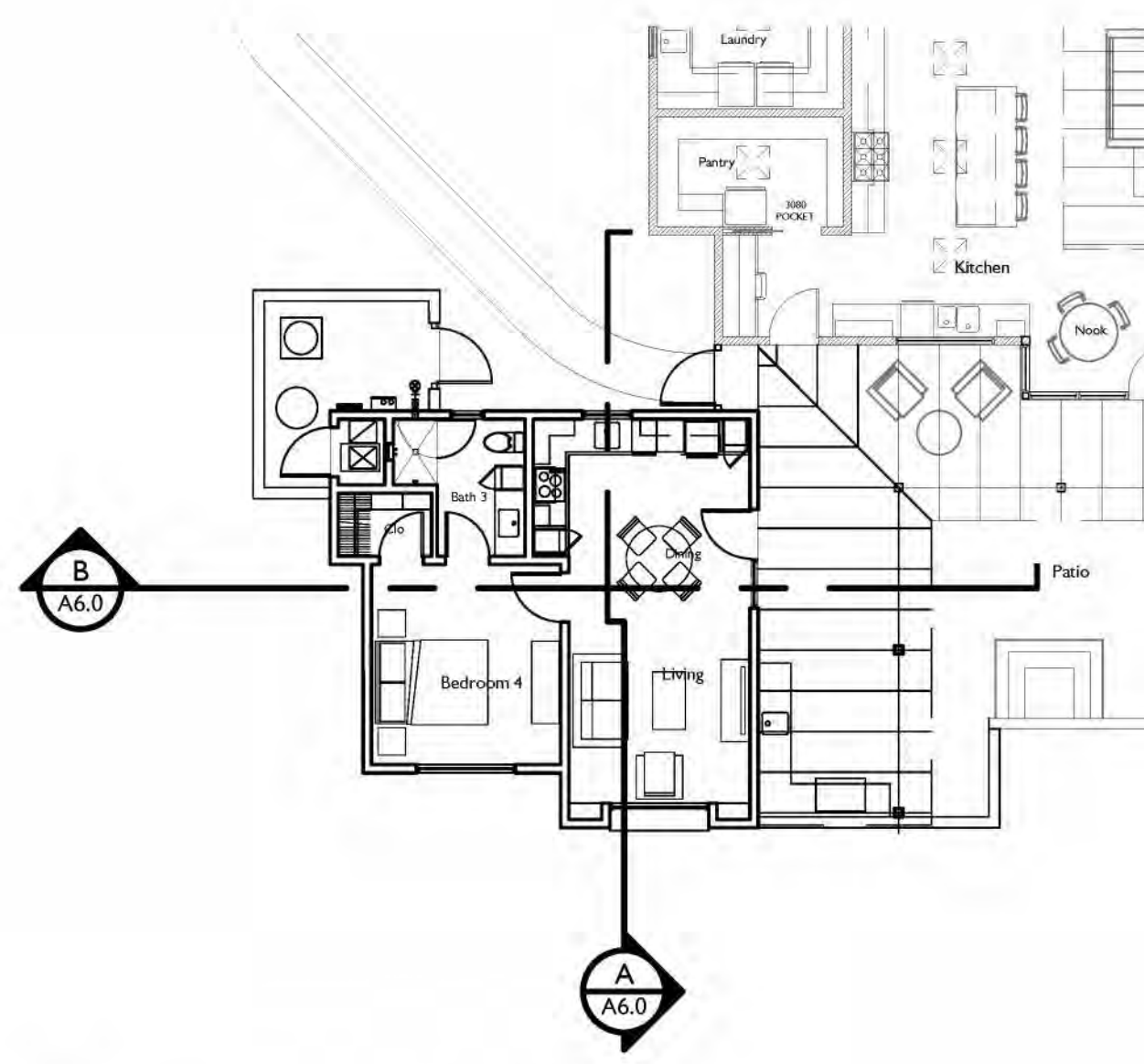
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Revisions

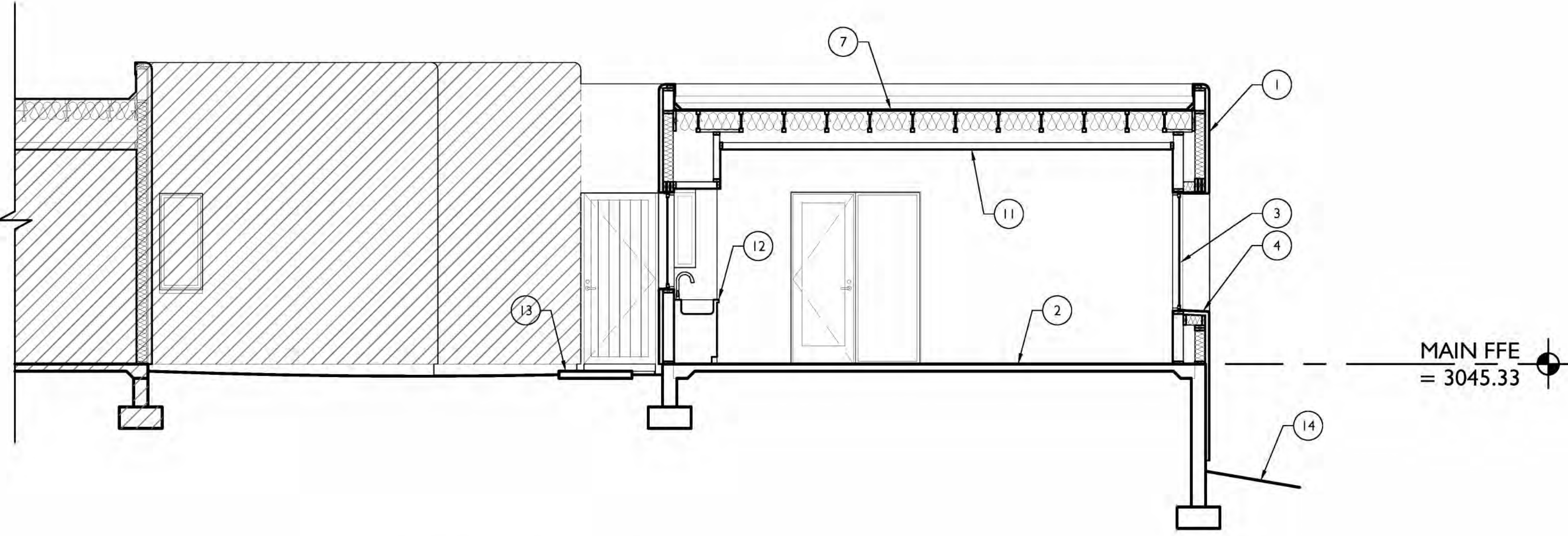


NORTH



KEY PLAN

SCALE 3/32" = 1'-0"

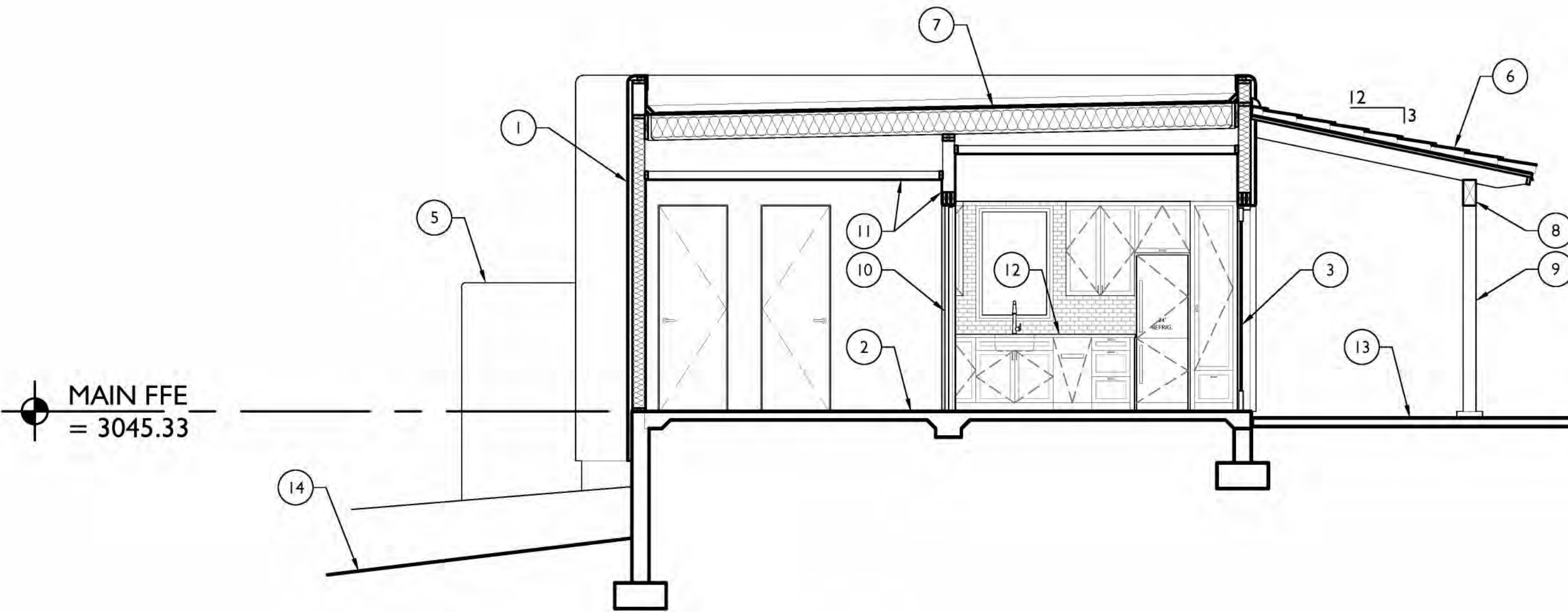


Section Keynotes

1. PAINTED STUCCO FINISH OVER 2X WOOD FRAME WALL PER PLAN.
2. CONCRETE SLAB AND FOOTING PER FOUNDATION PLAN SHEET S1.0.
3. ALUMINUM CLAD WOOD WINDOW / DOOR SYSTEM. SEE WINDOW ELEVATIONS SHEET AS.0 FOR ADDITIONAL INFORMATION.
4. SLOPED STUCCO WINDOW SILL TYPE UNO.
5. MASONRY MECHANICAL / UTILITY YARD WALL W/ PAINTED STUCCO FINISH.
6. 2-PIECE CLAY ROOF TILE OVER 2X WOOD DECK / PER PLAN.
7. UP-ROOF OVER ROOF DECK SHEATHING PER ROOF PLAN / FRAMING PLAN.
8. ROUGH SAWN WOOD BEAM / JOIST PER FRAMING PLAN.
9. ROUGH SAWN WOOD POST PER FOUNDATION / FRAMING PLAN.
10. INTERIOR DOOR PER FLOOR PLAN SHEET A2.0.
11. GYPSBOARD FINISH PER PLAN.
12. CUSTOM MILLWORK PER INTERIOR ELEVATIONS SHEET A7.0.
13. PAVAR PATIO / WALKWAY AS OCCURS.
14. APPROXIMATE FINISH GRADE.

SECTION 'A'

SCALE 1/4"=1'-0"



SECTION 'B'

SCALE 1/4"=1'-0"

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BUILDING SECTIONS

**GARIGAN RESIDENCE
GUEST HOUSE**
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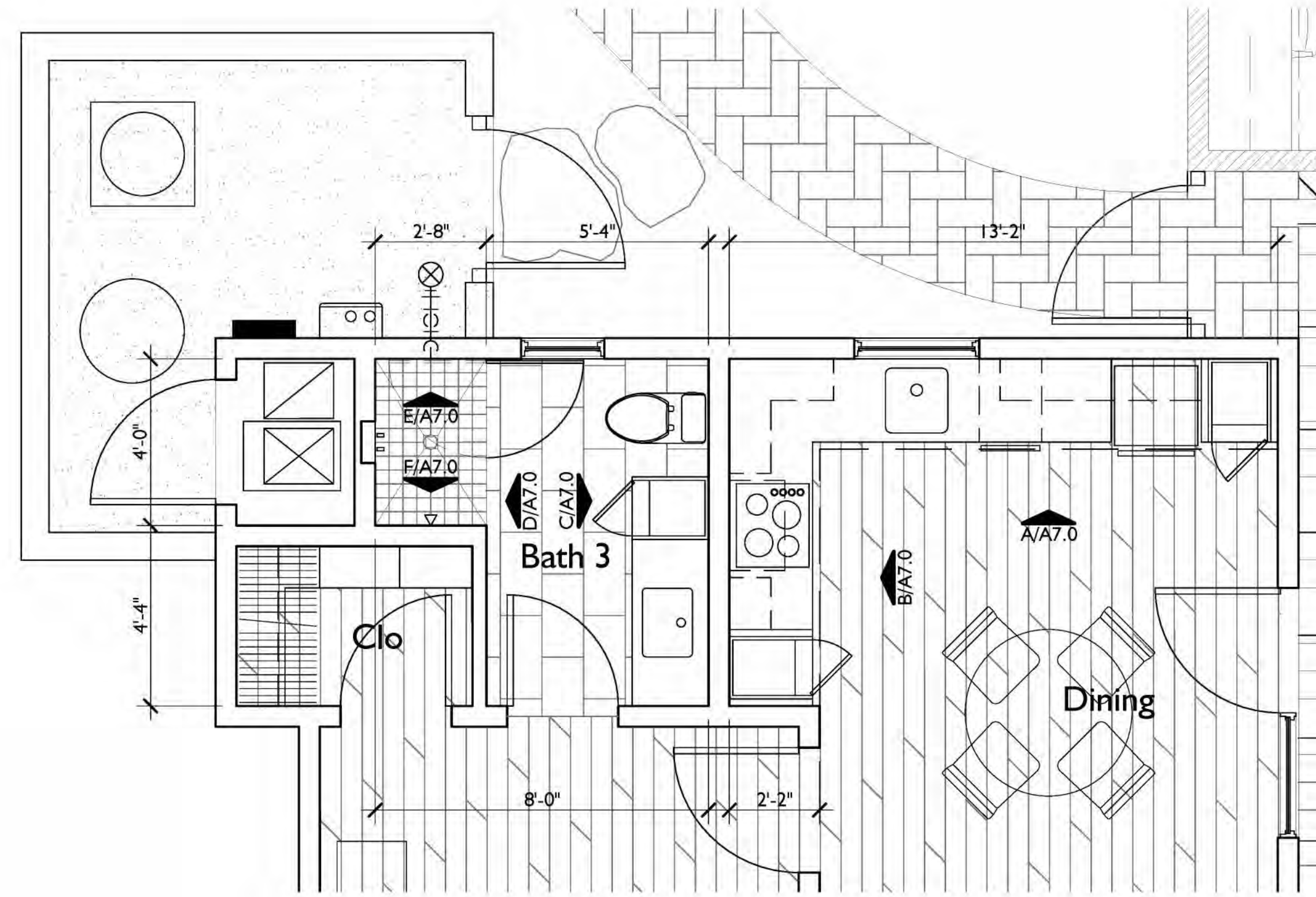
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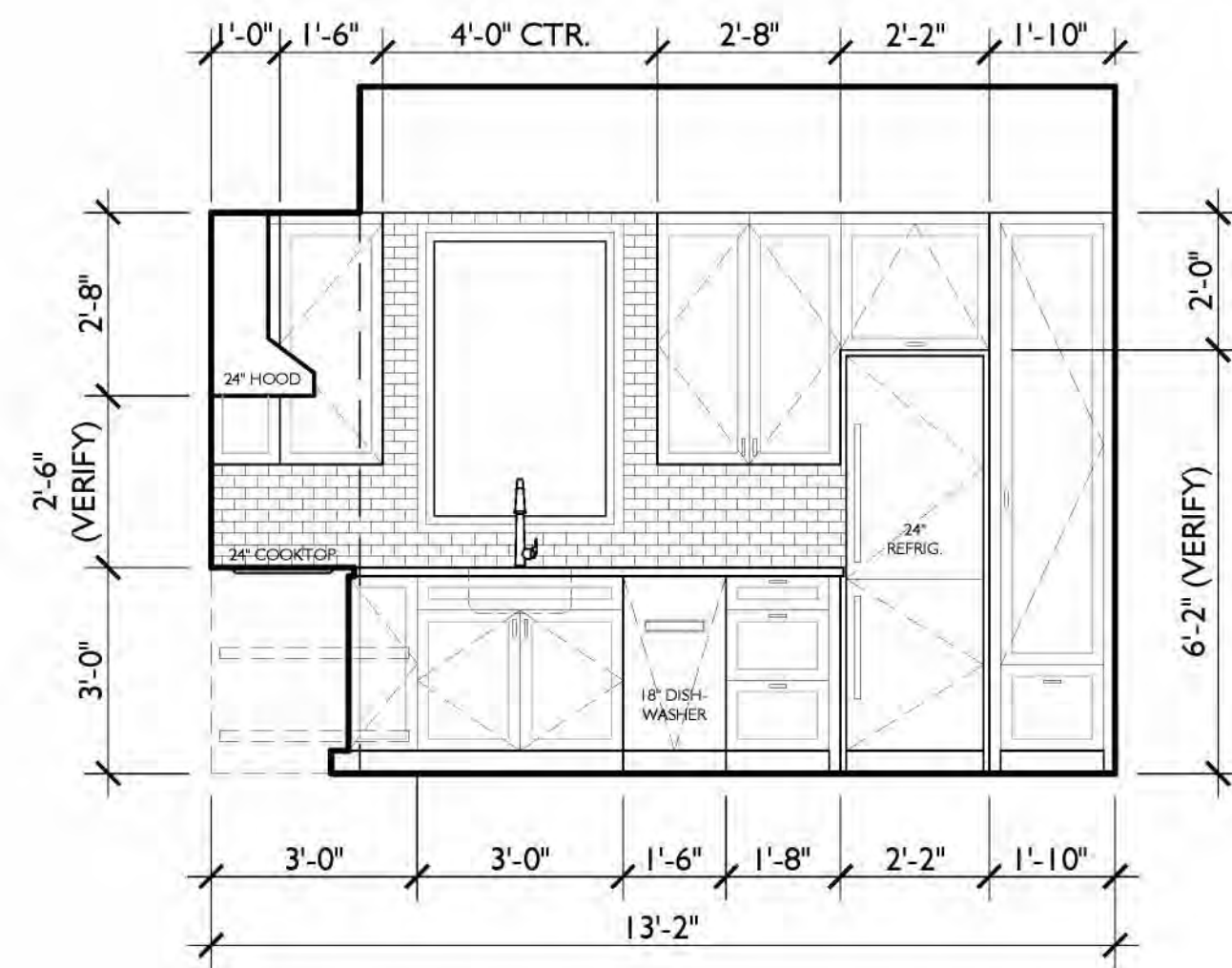
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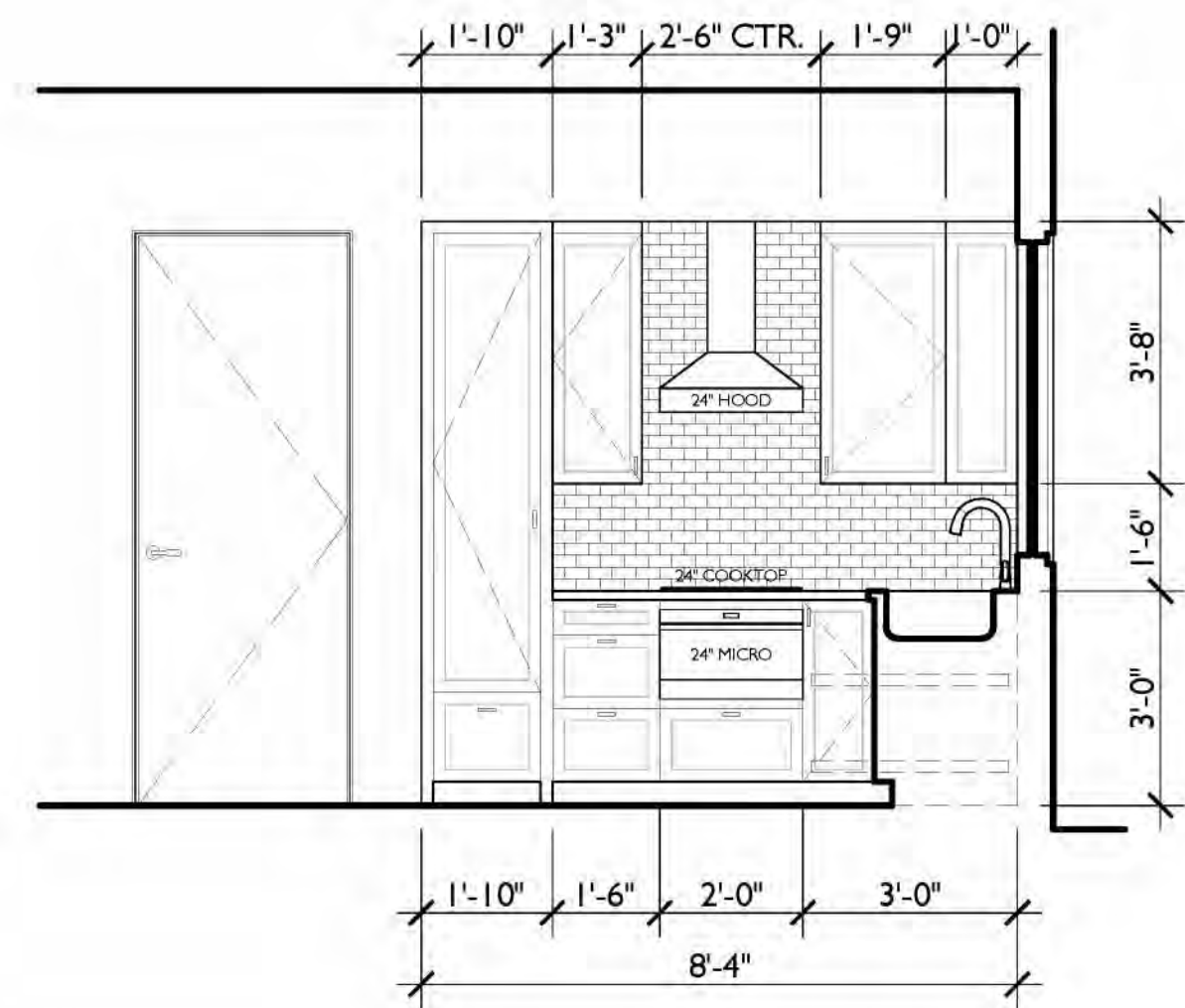
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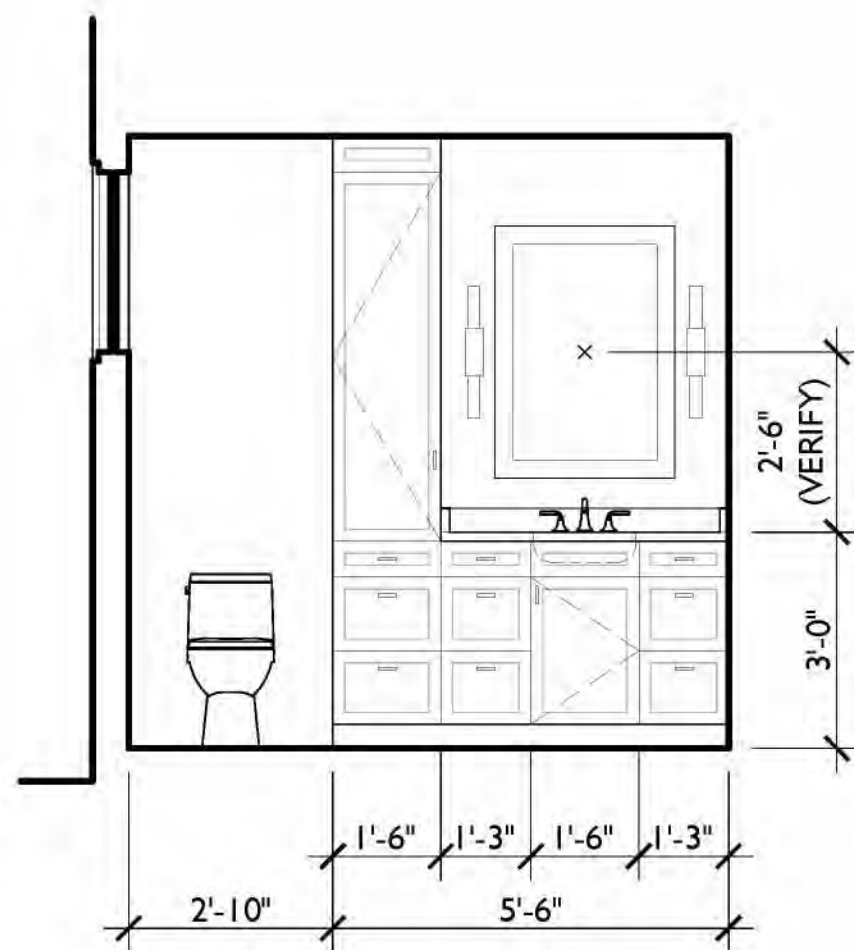
NORTH
ENLARGED PLAN
SCALE 3/8"=1'-0"



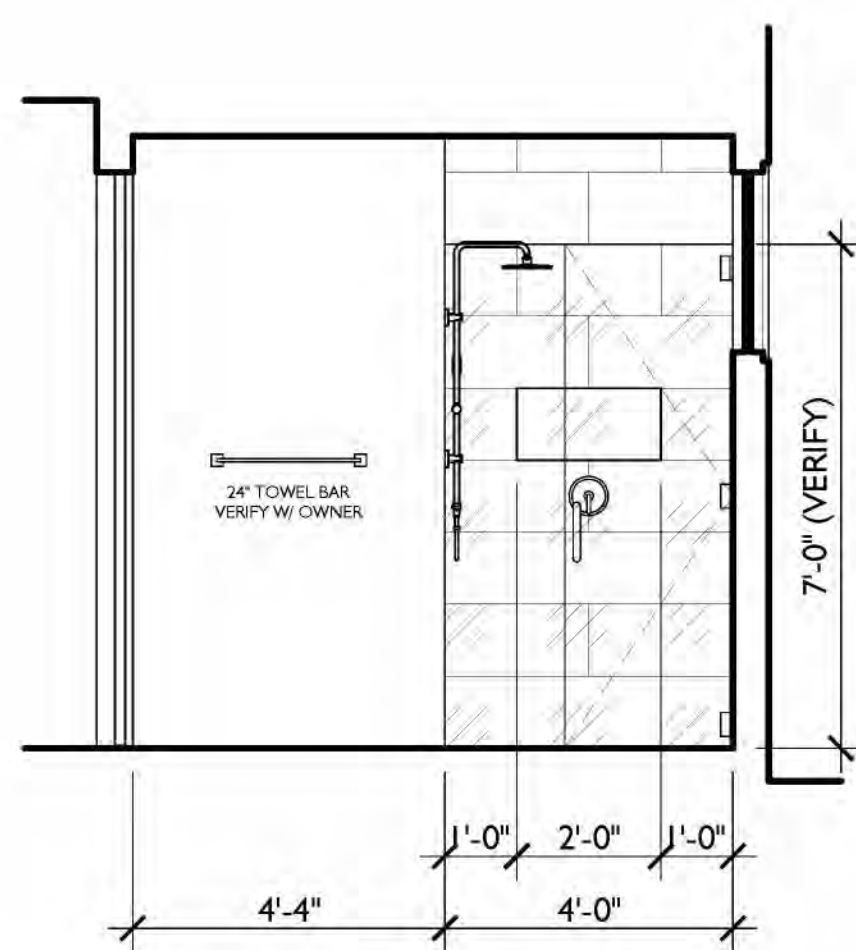
A KITCHEN
3/8"=1'-0"



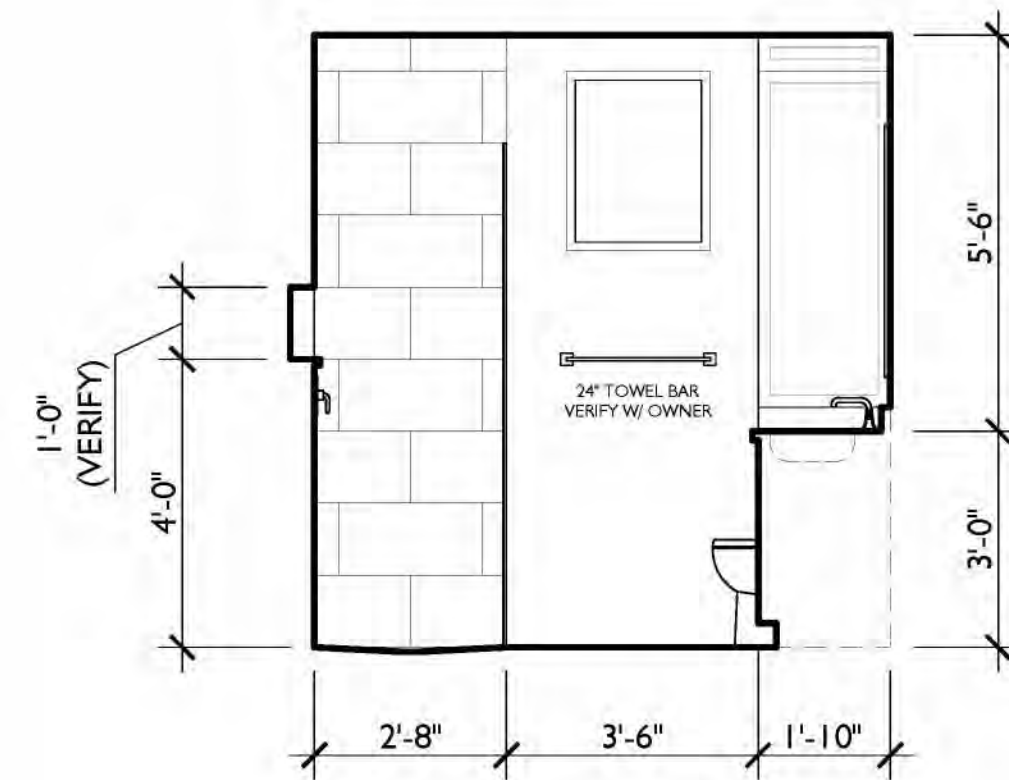
B KITCHEN
3/8"=1'-0"



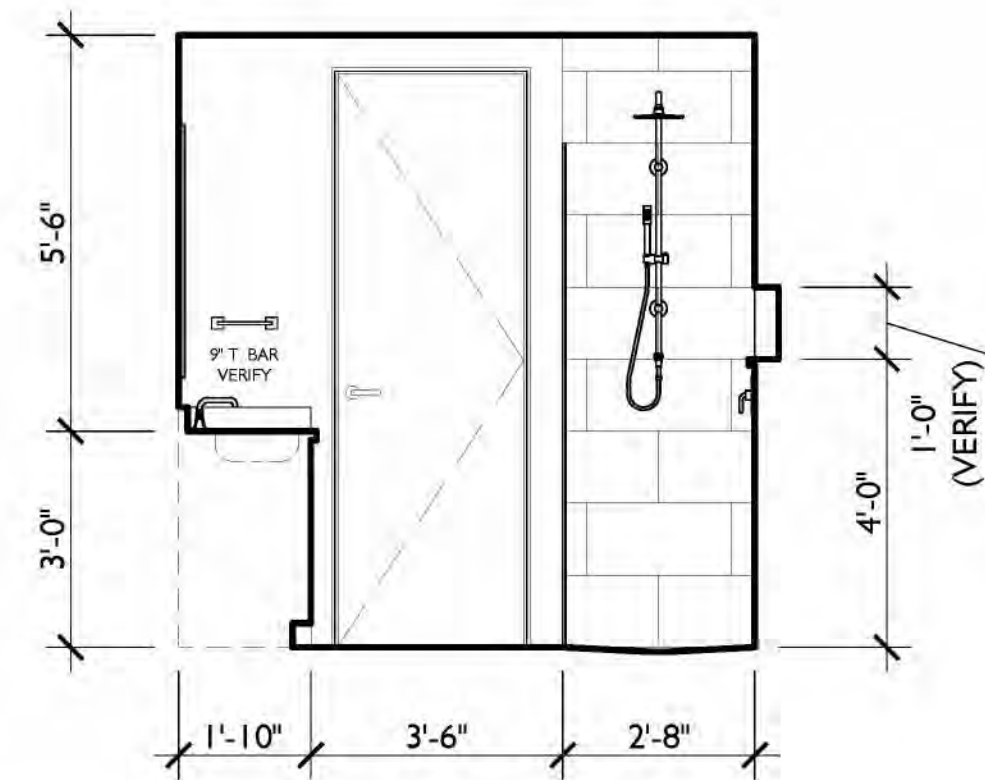
C BATHROOM
3/8"=1'-0"



D BATHROOM
3/8"=1'-0"



E BATHROOM
3/8"=1'-0"



F BATHROOM
3/8"=1'-0"

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Revisions

**ENLARGED PLANS
& INTERIOR ELEVATIONS**

**GARIGAN RESIDENCE
GUEST HOUSE**
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Tucson, Arizona 85718

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COMPLETE AND SIGN THE APPROPRIATE FORMS CERTIFYING THAT TO THE BEST OF HIS KNOWLEDGE THE WORK IS IN CONFORMANCE WITH THE APPROVED PLANS AND SPECIFICATIONS, AND THE APPLICABLE WORKMANSHIP PROVISIONS OF THE CODE.

ARIZONA STATE SEAL
 CERTIFICATE NO. 35228
 JANELLE L. PERRY
 DATE SIGNED 132/25
 ARIZONA U.S.A.
 Expires 5/30/74

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Foundation Legend

	CONCRETE HOUSE SLAB
	CMU WALL / STEM WALL
	CONCRETE PATIO SLAB

General Foundation Notes

- LOCATIONS OF CONTROL JOINTS OR SCORED JOINTS FOR ALL SLABS SHALL BE AS SHOWN ON THE DRAWINGS OR AS OTHERWISE COORDINATED w/ THE OWNER & SHALL ENCLOSE A MAXIMUM OF 225 S.F. PROVIDE A 3/4" TOOLED EDGE @ ALL EXPOSED CORNERS.
- DO NOT USE A CURING COMPOUND ON ANY FINISHED CONCRETE SURFACE. CURING SHALL BE ACCOMPLISHED BY WATER TREATMENT METHOD.
- ALL EXTERIOR GRADES SHALL SLOPE AWAY FROM BUILDING. ALL SITE GRADING SHALL BE ACCOMPLISHED TO ELIMINATE ANY WATER POCKETS ADJACENT TO THE BUILDING FOUNDATION.
- SOLID GROUT ALL MASONRY STEMS.
- NOT USED.
- FOR ADDITIONAL FOOTINGS SEE DETAILS SHEET S2.0.

Foundation Keynotes

- 5" CONCRETE SLAB W/ #4'S @ 24" O.C. OVER 4" MINIMUM COMPACTED FILL. NOTE: PROVIDE COMPLETE SOIL POISONING TREATMENT FOR TERMITES PROTECTION & PROVIDE A MINIMUM 5 YEAR WRITTEN GUARANTEE.
- 4" CONCRETE SLAB @ MECHANICAL / UTILITY ENCLOSURE. SLOPE TOWARD GATE OPENING AS SHOWN FOR DRAINAGE.
- CONCRETE CONTROL JOINTS AS SHOWN (@ 15'-0" O.C. MAX). TOOLED @ EXPOSED LOCATIONS.
- DEPRESS SLAB 4" @ SHOWER LOCATION.
- EXTERIOR STEP THRESHOLD. SEE DETAILS.
- 8" MASONRY HOUSE STEM WALL W/ 6" TOP BLOCK TYP UNO. SEE DETAILS.
- MASONRY PATIO / RETAINING WALL. ALIGN WITH EXISTING WHERE OCCURS.
- BLOCKOUT IN CONCRETE SLAB FOR MECHANICAL EQUIPMENT LINE. VERIFY EXACT SIZE / LOCATION W/ MECHANICAL CONTRACTOR.
- UNDERGROUND CONDENSATE LINE CONDUIT PER MECHANICAL PLAN.
- INTERIOR BEARING WALL WHERE INDICATED. SEE WALL TYPES / DETAILS.
- PLUMBING FIXTURE LOCATION, TYP. VERIFY EXACT LOCATION AND REQUIREMENTS.
- 2 - #4 x 4'-0" LONG REBAR CENTERED IN SLAB TYP. @ REENTRANT CORNERS.
- CONCRETE SLAB AT OUTDOOR CABINET / BBQ LOCATION. COORDINATE EXTENTS AND REQUIREMENTS.
- EXISTING HOUSE SLAB AND FOUNDATION TO REMAIN.

ADDITIONAL NOTES:

- PROVIDE UG SLEEVING PER OWNER / ARCHITECT. VERIFY AND COORDINATE ALL REQUIREMENTS.
 - FOR COLUMNS / FOOTING SEE SCHEDULES THIS SHEET.
- ▽ HOLDDOWNS HTT4 W/ 18-16d SINKER NAILS INTO DOUBLE STUD & 5/8" DIA. THREADED ROD X 5" EMBED INTO SIMPSON 'SET' ADHESIVE.* SEE DETAIL 18/S2.0

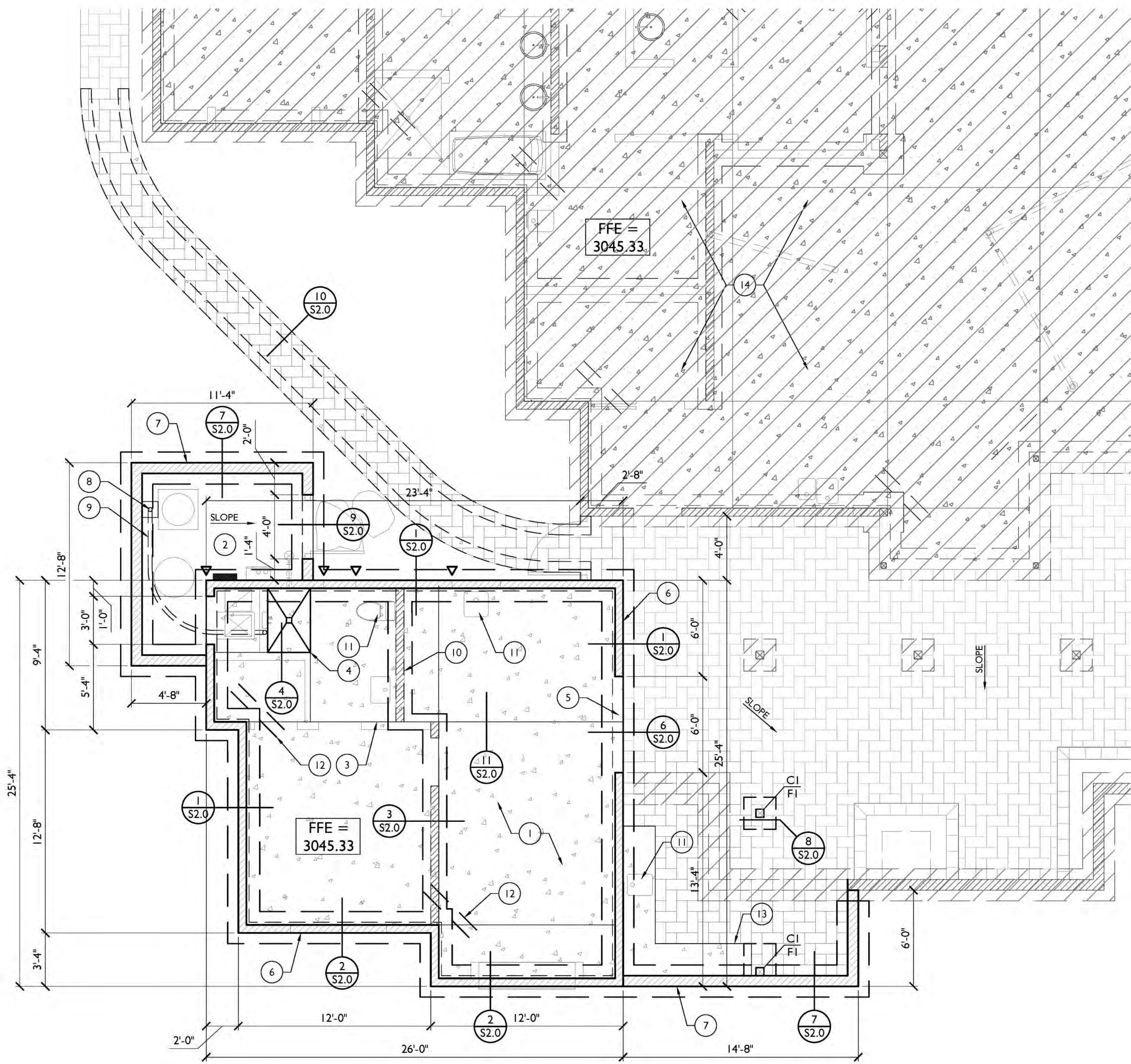
*EPOXY INSTALLATION REQUIRES SPECIAL INSPECTION.

Foundation Schedules

COLUMN SCHEDULE			
MARK	SIZE	BASE CONNECTION	REMARKS
C1	6 X 6 (DF#1)	CUSTOM STEEL	SEE DETAIL 8 / S2.0

* SEE SHEET A2.0 FOR SHEAR WALL LOCATIONS
** USE 2-2 X 6 UNDER ALL BEAMS / HEADERS UNO.

FOOTING SCHEDULE		
MARK	SIZE	REINFORCING
F1	2'-0" SQ x 12" THICK	3 - #4 EACH WAY



FOUNDATION PLAN

SCALE 1/4" = 1'-0"

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FOUNDATION PLAN

GARIGAN RESIDENCE
GUEST HOUSE
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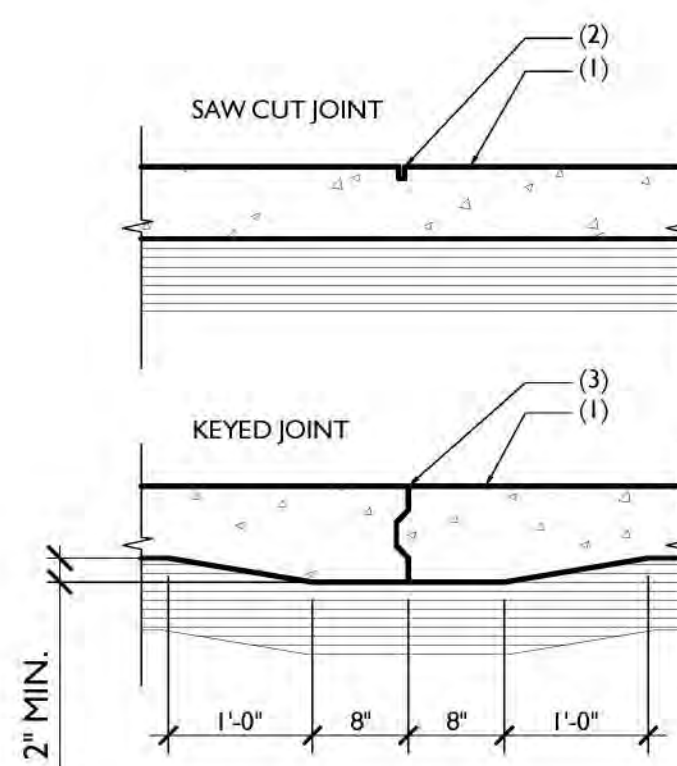
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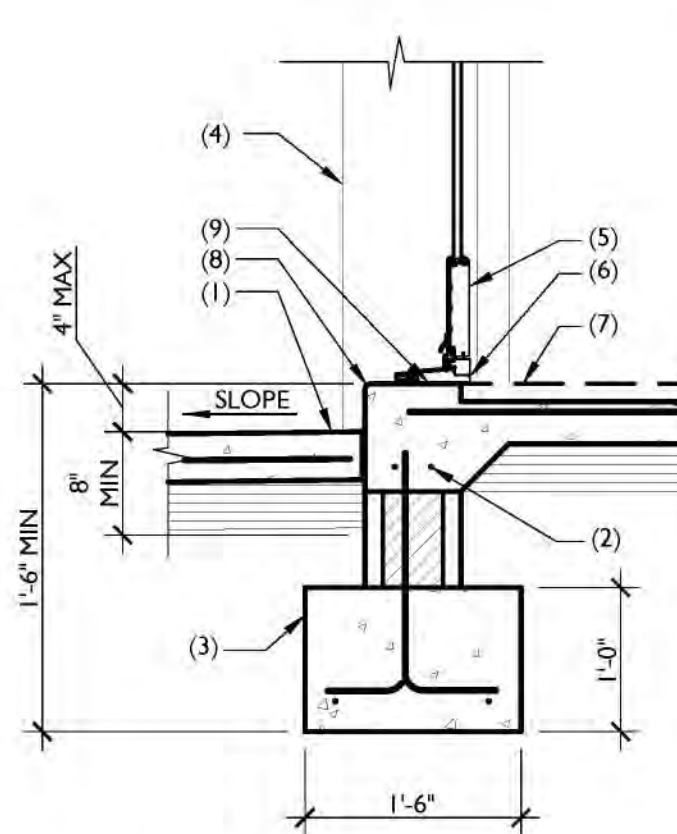
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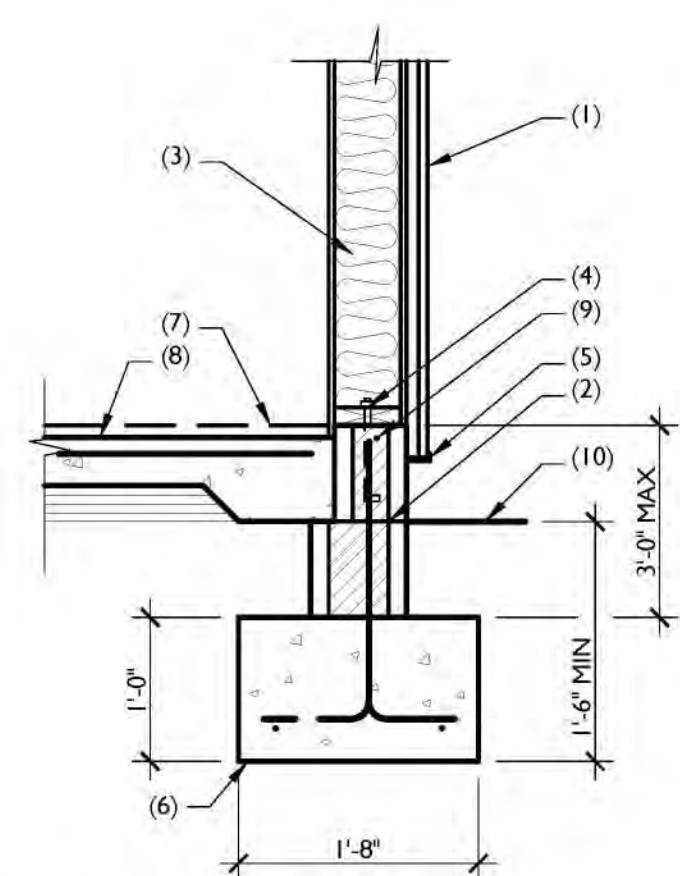
S1.0



- KEYNOTES:**
1. CONCRETE SLAB ON GRADE.
 2. SAWCUT - 1/8" WIDE X 1/4 SLAB THICKNESS IN DEPTH. CUT SHALL BE MADE SOON ENOUGH TO PREVENT SHRINKAGE CRACKING BUT NOT SO SOON AS TO CAUSE SPALLING OF THE CONCRETE WHILE SAWING. WORK MUST BE ACCOMPLISHED WITHIN 24 HOURS OF CONCRETE PLACEMENT.
 3. CONTINUOUS KEY.
- NOTE:**
- KEYED JOINTS NEED ONLY OCCUR AT EXPOSED EDGES DURING PLACEMENT UNLESS SPECIFICALLY NOTED ON THE PLANS. "TOO WET JOINT", "ZIP STRIP", ETC. SHALL MATCH SAWCUT REQUIREMENTS.



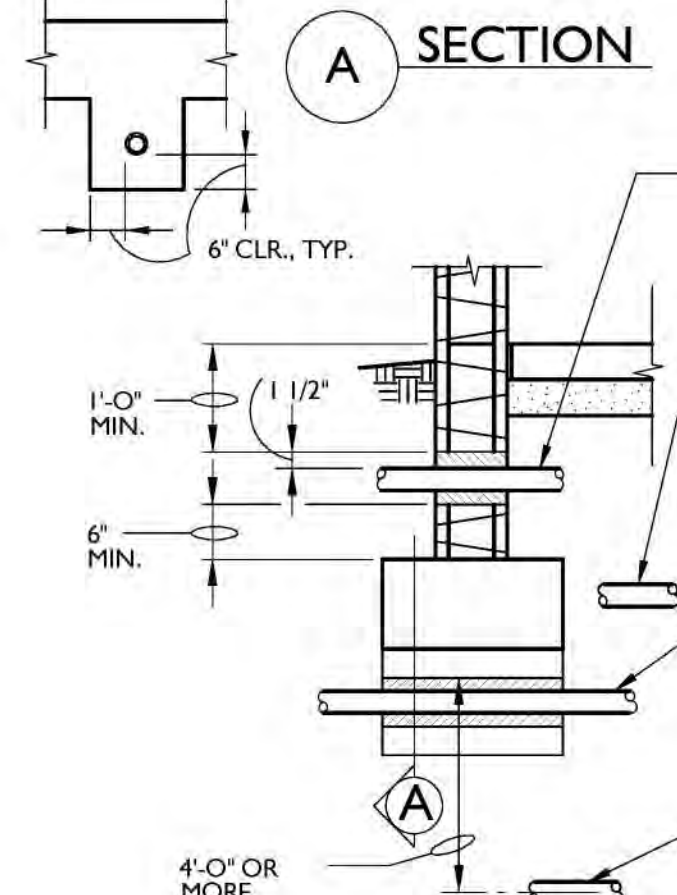
- KEYNOTES:**
1. CONCRETE PATIO SLAB PER PLAN.
 2. 2 - #4S CONTINUOUS.
 3. CONCRETE FOOTING.
 4. WALL BEYOND.
 5. WINDOW / DOOR SYSTEM PER PLANS.
 6. DOOR THRESHOLD. VERIFY MATERIAL TRANSITION LOCATION / ELEVATION REQUIREMENTS.
 7. SLAB DEPRESSION / FINISH FLOOR MATERIAL AS OCCURS. COORDINATE REQUIREMENTS.
 8. TOOLED EDGE AS OCCURS.
 9. STAGGERED SEALANT PER MANUFACTURERS SPECIFICATION.
- NOTE:**
- INSTALL MOISTOP FLASHING (BY FORTIFIBER CORP) OR APPROVED EQUAL AROUND ALL WINDOW AND DOOR OPENINGS TYP.



- KEYNOTES:**
1. PAINTED STUCCO FINISH ON 1" FOAM BOARD OVER 3/8" MINIMUM PLYWOOD SHEATHING TYP. (UNO / SEE SHEAR WALL SCHEDULE).
 2. SOLID GROUTED 8" MASONRY STEM W/ 6" TOP BLOCK W/ #5S @ 48" O.C. (ALT BENDS). LAP 30" MIN.
 3. 2X6 WOOD STUDS @ 16" O.C. W/ MINIMUM R-19 BATT INSULATION AND 1/2" GYPBOARD TYP.
 4. 2X PRESSURE TREATED SILL PLATE W/ 1/2" @ 48" O.C. MAX (UNO / SEE SHEAR WALL SCHEDULE).
 5. WEEP SCREED STUCCO STOP (4" MIN ABOVE GRADE / 2" MIN ABOVE HARDSCAPE).
 6. CONCRETE FOOTING W/ (2) - #4S CONTINUOUS.
 7. CONCRETE SLAB PER PLAN.
 8. FINISH FLOOR MATERIAL PER OWNER. VERIFY / COORDINATE ALL SLAB DEPRESSIONS.
 9. 1 - #4 CONTINUOUS.
 10. APPROXIMATE FINISH GRADE.

11 TYP CONCRETE CONTROL JOINTS

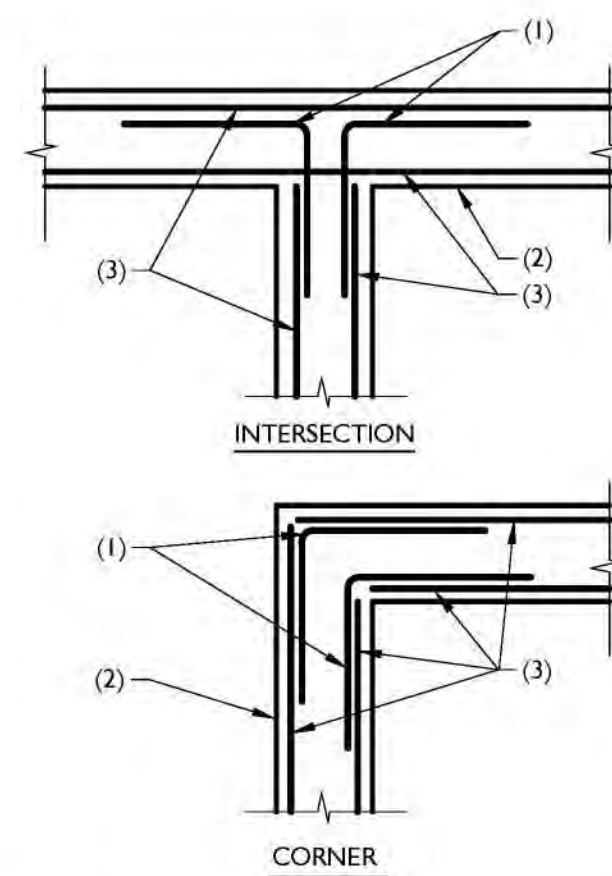
SCALE 3/4" = 1'-0"



- KEYNOTES:**
1. AT PIPE THRU STEMWALL PROVIDE METAL SLEEVE AND 1 1/2" COMPRESSIBLE MATERIAL ALL AROUND.
 2. AT PIPE THRU FOOTING STEP DOWN FOOTING TO CLEAR PIPE. SEE STEPPED FOOTING DETAIL AND NOTE BELOW.
 3. AT PIPE DIRECTLY BELOW FOOTING PROVIDE 1 1/2" COMPRESSIBLE MATERIAL ALL AROUND AND CAST FOOTING TO BOTTOM OF TRENCH.
 4. AT PIPE 4'-0" OR MORE BELOW FOOTING BACKFILL AND COMPACT TRENCH TO 95% MAXIMUM DENSITY.
- NOTE:**
- FOR INFORMATION NOT SHOWN, SEE WALL FOUNDATION DETAILS.

12 TYP UTILITY PIPE AT WALL FOOTING

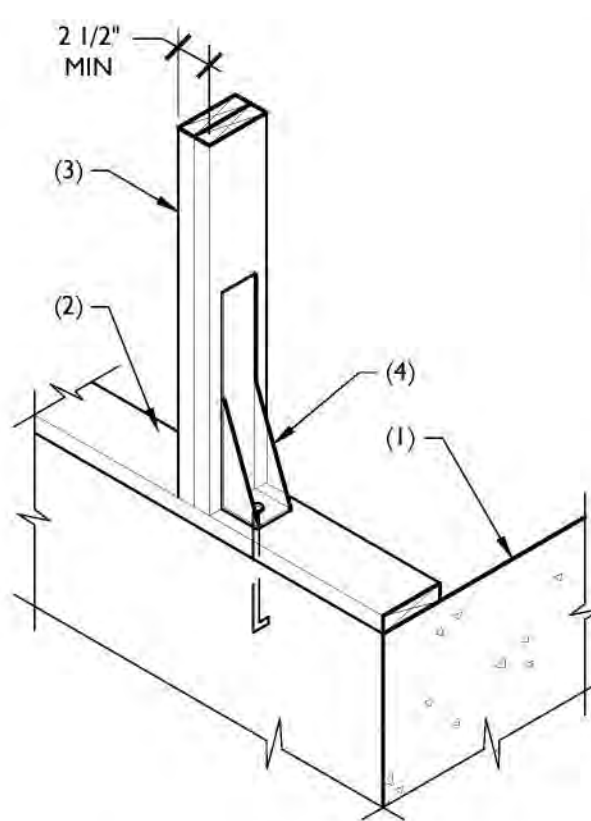
SCALE 3/4" = 1'-0"



- KEYNOTES:**
1. CORNER BARS SAME SIZE AND SPACING AS HORIZONTAL REINFORCING. LAP PER GSN (24" MIN).
 2. CONCRETE STEMWALL OR FOOTING.
 3. REINFORCING PER PLANS AND / OR DETAILS.

13 TYP PLAN REBAR REINFORCING

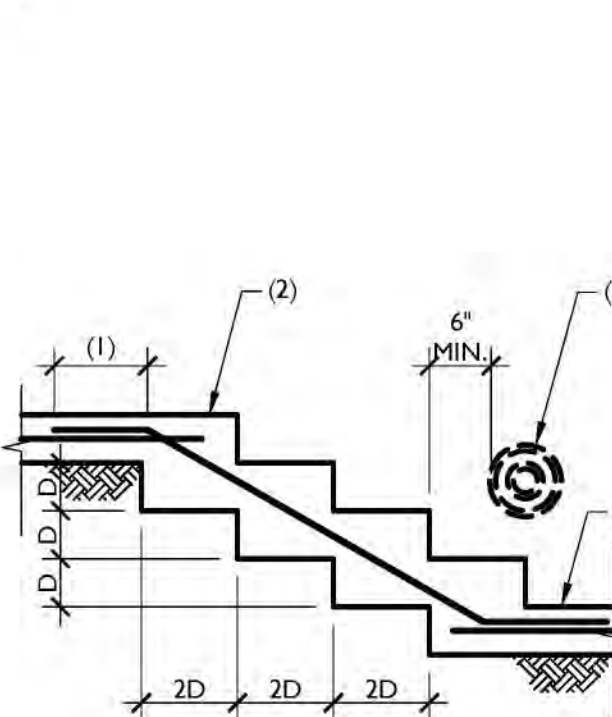
SCALE 3/4" = 1'-0"



- KEYNOTES:**
1. CONCRETE SLAB / STEM WALL PER PLAN.
 2. TYPICAL SILL / BASE PLATE.
 3. MINIMUM 2 - 2X FULL HEIGHT STUDS (UNO ON SCHEDULE / PLAN).
 4. SIMPSON HTT4.
- NOTE:**
- NO EXPANSION BOLTS ALLOWED.

14 TYP HOLDDOWN DETAIL

NTS



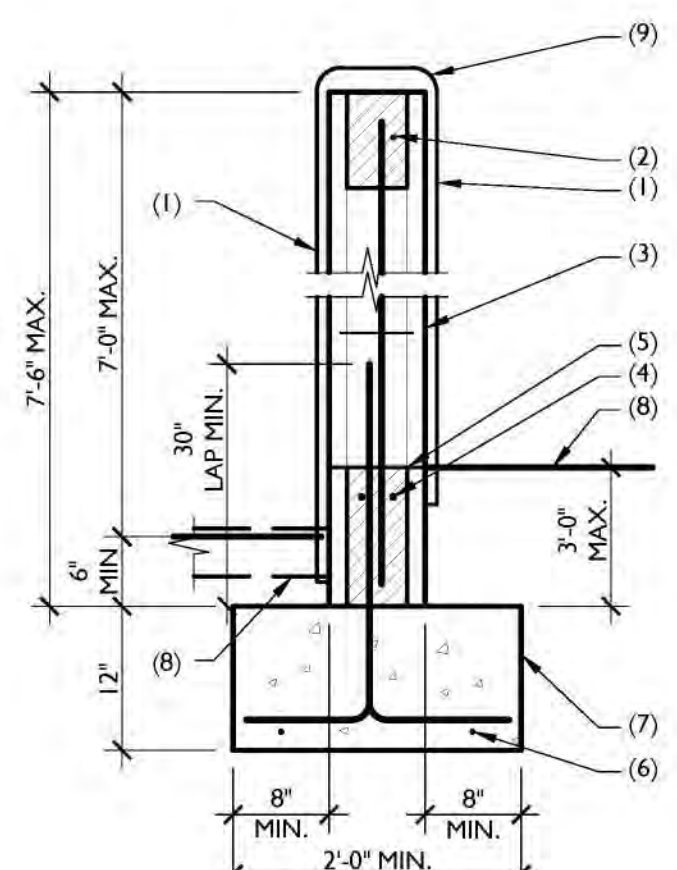
- KEYNOTES:**
1. LAP PER GSN (24" MIN) TYP.
 2. TOP OF WALL FOOTING.
 3. PIPE THRU STEMWALL AS OCCURS. SEE TYPICAL DETAIL.
 4. RETURN TO FOOTING THICKNESS AS SHOWN ON PLAN.
- NOTE:**
- D = 2'-0" MAXIMUM.

15 TYP STEP FOOTING

SCALE 3/4" = 1'-0"

6 EXTERIOR STEP THRESHOLD

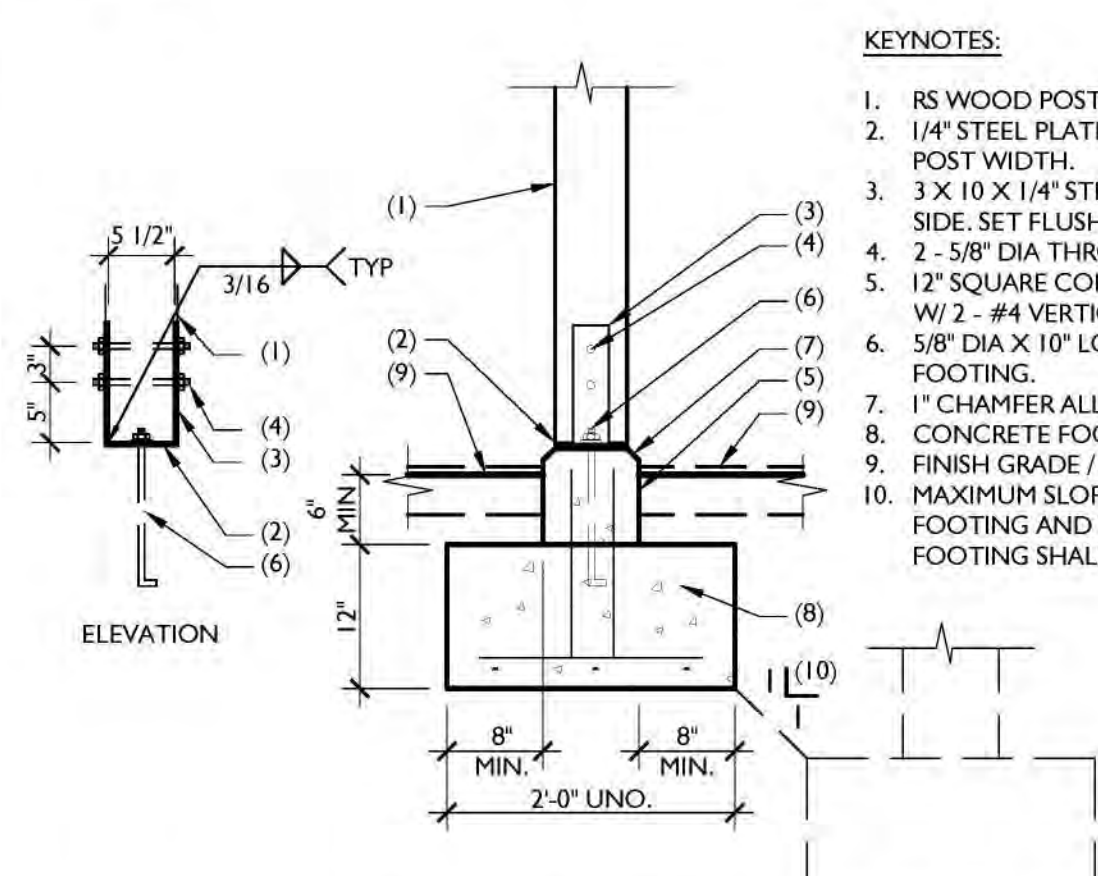
SCALE 3/4" = 1'-0"



- KEYNOTES:**
1. PAINTED STUCCO FINISH TYP.
 2. 1-#4 IN SOLID GROUTED BOND BEAM CONTINUOUS.
 3. 8X8X16" CMU WALL W/ #5S @ 32" O.C. AND TRUSS TYPE DOWELL @ 16" O.C. PER G.S.N.
 4. 2 - #4S CONTINUOUS @ GRADE.
 5. SOLID GROUTED STEM BELOW GRADE W/ #5 @ 32" O.C. ALTERNATE BENDS.
 6. 2 - #4S CONTINUOUS.
 7. CONCRETE FOOTING.
 8. GRADE / PATIO SLAB AS OCCURS.
 9. RADIUS STUCCO OVER GROUT CAP TYPICAL AT PATIO WALLS.

7 MASONRY PATIO WALL

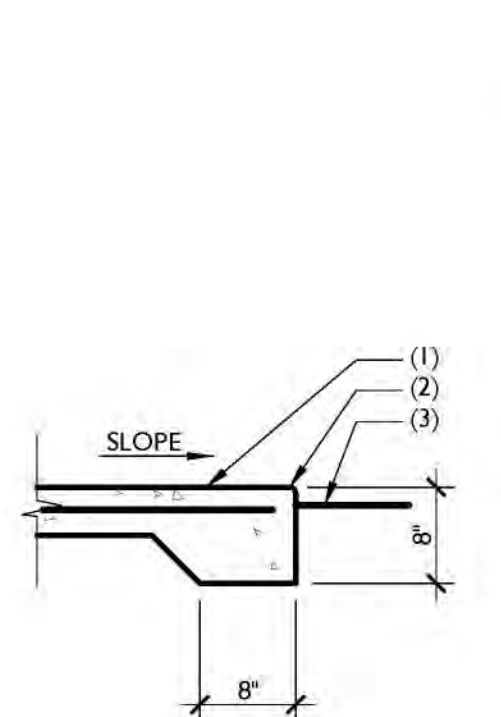
SCALE 3/4" = 1'-0"



- KEYNOTES:**
1. RS WOOD POST PER PLAN.
 2. 1/4" STEEL PLATE POST BASE TO MATCH POST WIDTH.
 3. 3 X 10 X 1/4" STEEL PLATE STRAP EACH SIDE. SET FLUSH W/ FACE OF POST.
 4. 2 - 5/8" DIA THROUGH BOLTS.
 5. 12" SQUARE CONCRETE PIER / PEDestal W/ 2 - #4 VERTICAL.
 6. 5/8" DIA X 10" LONG AB. MIN 7" EMBED IN FOOTING.
 7. 1" CHAMFER ALL AROUND TYP.
 8. CONCRETE FOOTING PER SCHEDULE.
 9. FINISH GRADE / PATIO SLAB AS OCCURS.
 10. MAXIMUM SLOPE BETWEEN BOTTOM OF FOOTING AND TOP OF ADJACENT FOOTING SHALL BE 45 DEGREES.

8 WOOD POST FOOTING

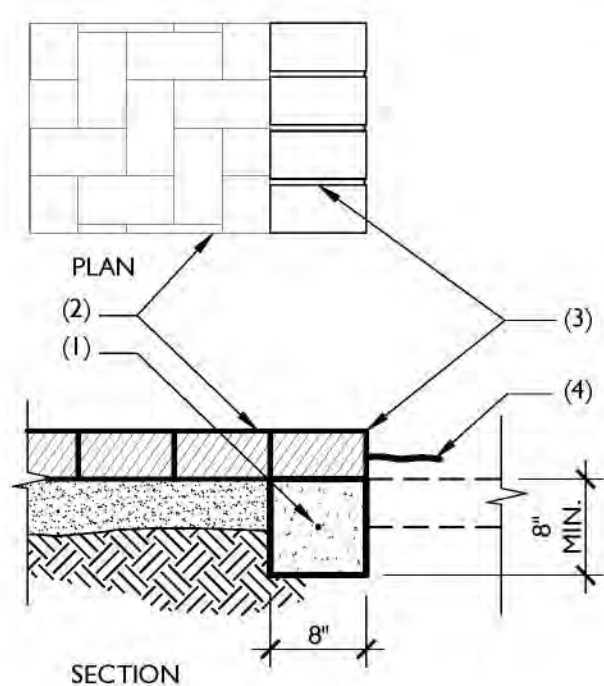
SCALE 3/4" = 1'-0"



- KEYNOTES:**
1. CONCRETE PATIO SLAB PER PLAN.
 2. TOOLED EDGE.
 3. FINISHED GRADE AS OCCURS.

9 CONCRETE TOEDOWN

SCALE 3/4" = 1'-0"



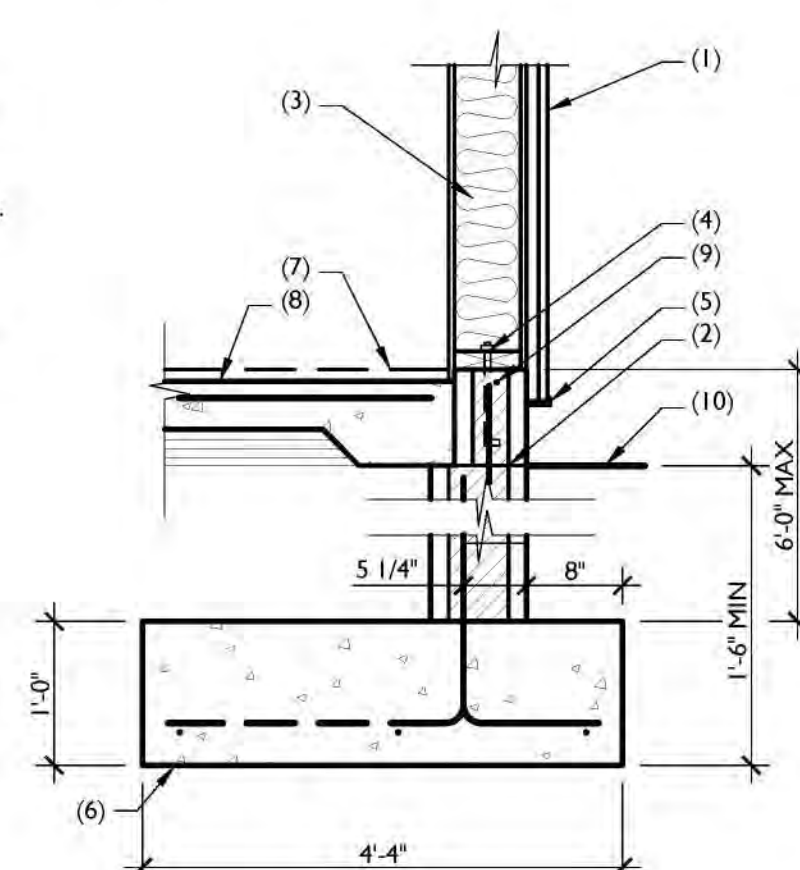
- KEYNOTES:**
1. 1 - #4 CONTINUOUS.
 2. BRICK PAVERS OVER 2" COMPACTED SAND.
 3. BRICK PAVER HEADER COURSE W/ STRUCK PORTAR JOINTS AT PERIMETER FOOTING TYP.
 4. FINISHED GRADE AS OCCURS.

10 BRICK PAVER HEADER

SCALE 3/4" = 1'-0"

1 EXTERIOR BEARING WALL (0' - 3'-0")

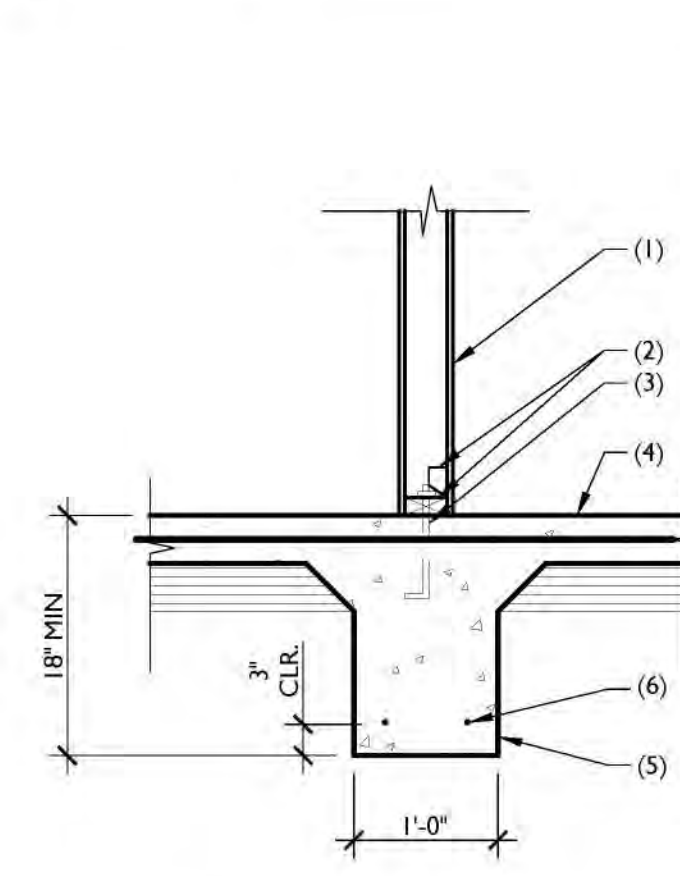
SCALE 3/4" = 1'-0"



- KEYNOTES:**
1. PAINTED STUCCO FINISH ON 1" FOAM BOARD OVER 3/8" MINIMUM PLYWOOD SHEATHING TYP. (UNO / SEE SHEAR WALL SCHEDULE).
 2. SOLID GROUTED 8" MASONRY STEM W/ 6" TOP BLOCK W/ #5S @ 48" O.C. OFFSET TO SOIL SIDE (ALT BENDS). LAP 30" MIN.
 3. 2X6 WOOD STUDS @ 16" O.C. W/ MINIMUM R-19 BATT INSULATION AND 1/2" GYPBOARD TYP.
 4. 2X PRESSURE TREATED SILL PLATE W/ 1/2" @ 48" O.C. MAX (UNO / SEE SHEAR WALL SCHEDULE).
 5. WEEP SCREED STUCCO STOP (4" MIN ABOVE GRADE / 2" MIN ABOVE HARDSCAPE).
 6. CONCRETE FOOTING W/ (3) - #4S CONTINUOUS.
 7. CONCRETE SLAB PER PLAN.
 8. FINISH FLOOR MATERIAL PER OWNER. VERIFY / COORDINATE ALL SLAB DEPRESSIONS.
 9. 1 - #4 CONTINUOUS.
 10. APPROXIMATE FINISH GRADE.

2 EXTERIOR BEARING WALL (3'-1" - 6'-0")

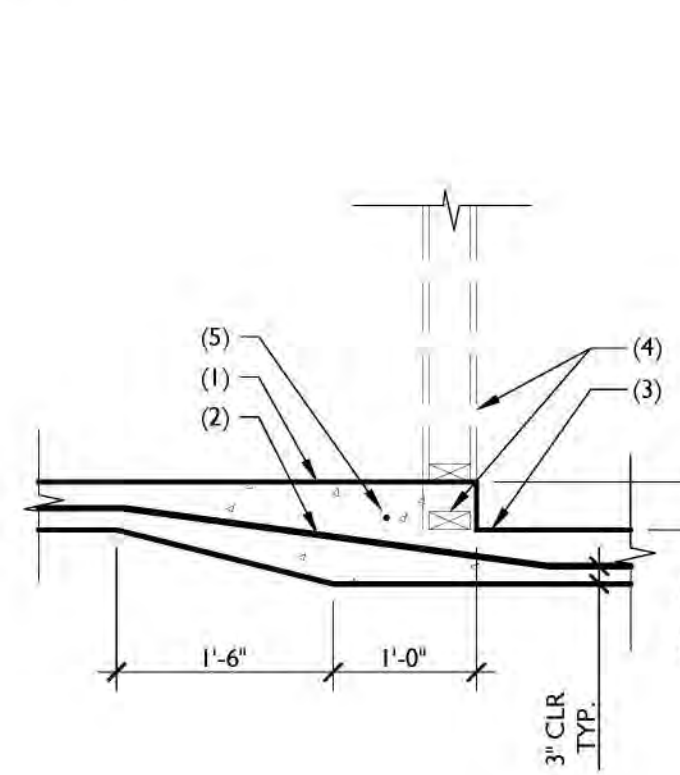
SCALE 3/4" = 1'-0"



- KEYNOTES:**
1. 2X STUDS @ PER PLAN.
 2. 2X PRESSURE TREATED SILL PLATE W/ H3 @ EACH STUD TYP.
 3. 1/2" DIA X 10" LONG MIN. A.B.S AT 48" O.C. UNO. MINIMUM 7" EMBED.
 4. CONCRETE SLAB PER PLAN.
 5. CONCRETE FOOTING AS SHOWN.
 6. 2 #4S CONT.
- NOTE:**
- * USE 2-H3 TO WOOD POST OR DOUBLE STUDS @ SIMILAR LOCATIONS.
* EXPANSION BOLTS MAY BE USED IN LIEU OF ANCHOR BOLTS.

3 INTERIOR BEARING WALL

SCALE 3/4" = 1'-0"



- KEYNOTES:**
1. CONCRETE SLAB.
 2. SLAB REINFORCING CONTINUOUS THROUGH DEPRESSION.
 3. CONCRETE SLAB DEPRESSION PER PLAN.
 4. WOOD STUDWALL ABOVE / WITHIN DEPRESSION AS OCCURS.
 5. 1 - #4 CONTINUOUS.

4 CONCRETE SLAB DEPRESSION

SCALE 3/4" = 1'-0"

5 NOT USED

NTS



Revisions

FOUNDATION DETAILS

GARIGAN RESIDENCE
GUEST HOUSE
7288 North Cathedral Rock Road
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Revisions

Framing Legend

8'-0"	BOTTOM OF HEADER OR BEAM
B.O.BM.	BOTTOM OF BEAM
T.O.PL.	TOP OF PLATE
T.O.W.	TOP OF WALL
T.O.L.	TOP OF LEDGER
---	WOOD LEDGER
==	WOOD HEADER
---	WOOD BEAM
///	WOOD FRAME BEARING WALL

General Framing Notes

- ALL HEIGHTS OCCUR ABOVE ITS OWN FFE UNO.
- ALL LUMBER TO BE DF#2 OR BETTER EXCEPT AS NOTED IN GSN.
- ROOF SHEATHING SHALL BE 15/32" APA RATED SHEATHING WITH 8d NAILS. NAIL @ 6" O.C. DIAPHRAGM BOUNDARIES / 6" O.C. PLYWOOD EDGES / 12" O.C. INTERMEDIATE EXCEPT AS NOTED IN GSN.
- VERIFY HEIGHTS / DIMENSIONS OF ALL DOOR / WINDOW OPENINGS.
- USE 8 - 16d NAILS EACH SIDE OF TOP PLATE SPLICES.
- SEE DETAIL 13 / S4.0 FOR TYPICAL HEADER INFORMATION.

Framing Keynotes

- 2 X 6 @ 16" O.C. TYP FRAME BEARING WALL UNO.
- 2 X 6 T&G WOOD DECK AT TILE PORCH ROOF TYP.
- NOT USED.
- EXISTING HOUSE FRAMING TO REMAIN.
- CONT. CS20 STRAP TO HEADER AND BLOCKING IN SHEARWALLS W/ 6 - 16d SINKERS INTO EA/ SHEARWALL AND 12" O.C. TO HEADER.

Framing Schedules

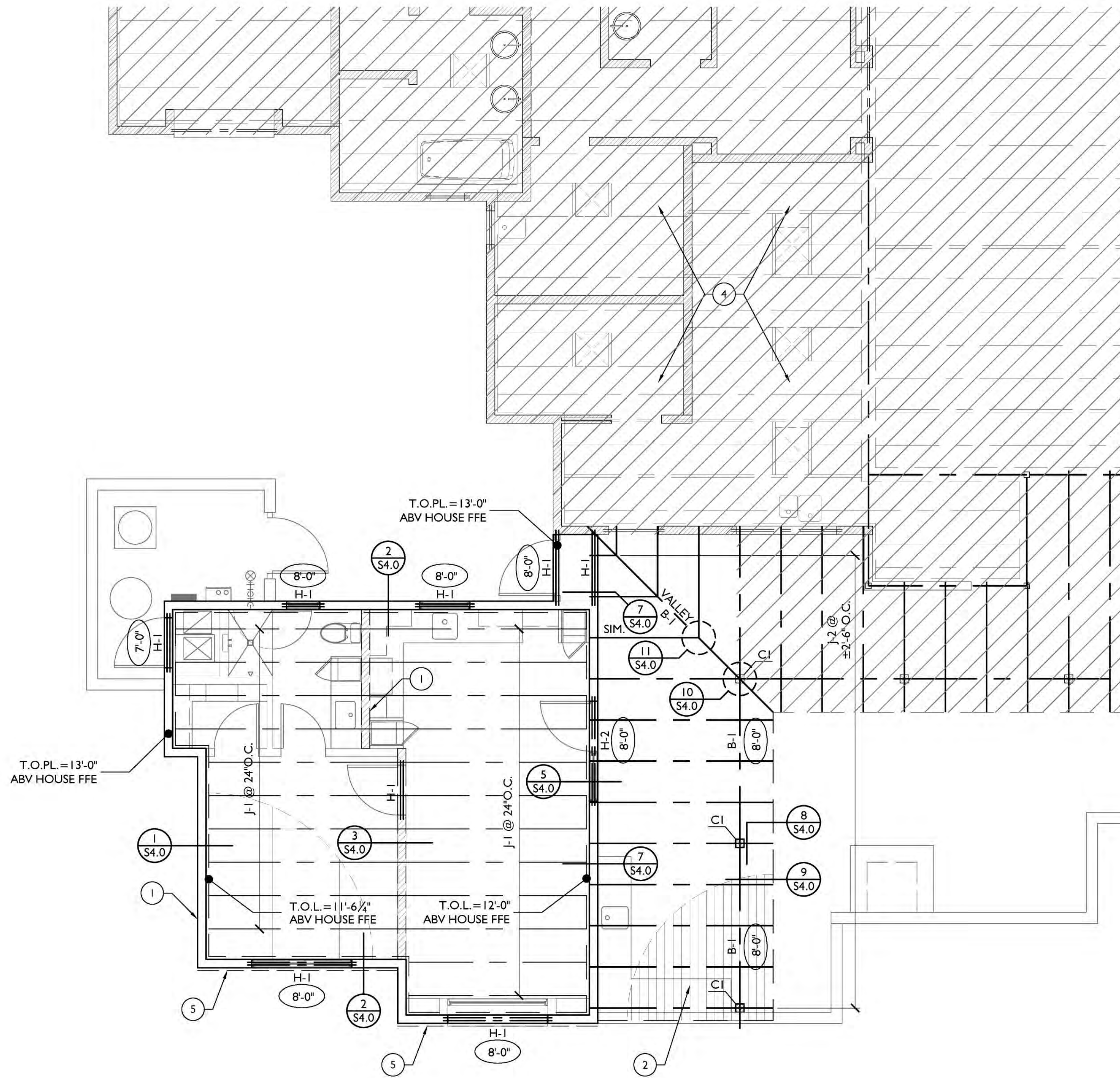
JOIST SCHEDULE			
MARK	SIZE	SPACING	COMMENT
J-1	11-7/8" TJI 110	24" O.C.	IUS 1.81 / 11.88
J-2	4" X 8"	36" O.C. MAX	--


BEAM SCHEDULE			
MARK	SIZE	CAMBER	COMMENT
B-1	6 X 10		--

HEADER SCHEDULE			
MARK	SIZE	BEARING	COMMENT
H-1	(3) 2x6	2 - 2x6	TYP. U.N.O.
H-2	(3) 2x8	2 - 2x6	--

COLUMN SCHEDULE			
MARK	SIZE	BASE CONNECTION	REMARKS
C1	6 X 6 (DF#1)	CUSTOM STEEL	SEE DETAIL 8 / S2.0

SEE SHEET A2.0 FOR SHEAR WALL SCHEDULE.
USE 2-2 X 6 UNDER ALL BEAMS / HEADERS UNO.



NORTH

FRAMING PLAN
SCALE 1/4" = 1'-0"

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CONTRACT.



FRAMING PLAN

GARIGAN RESIDENCE
GUEST HOUSE
7288 North Cathedral Rock Road
Tucson, Arizona 85718

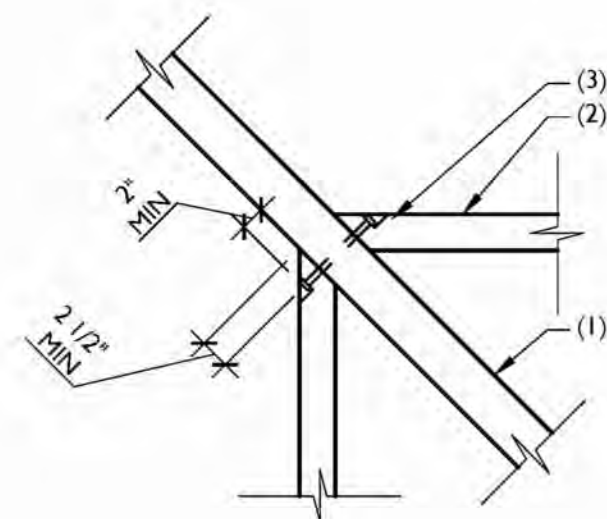
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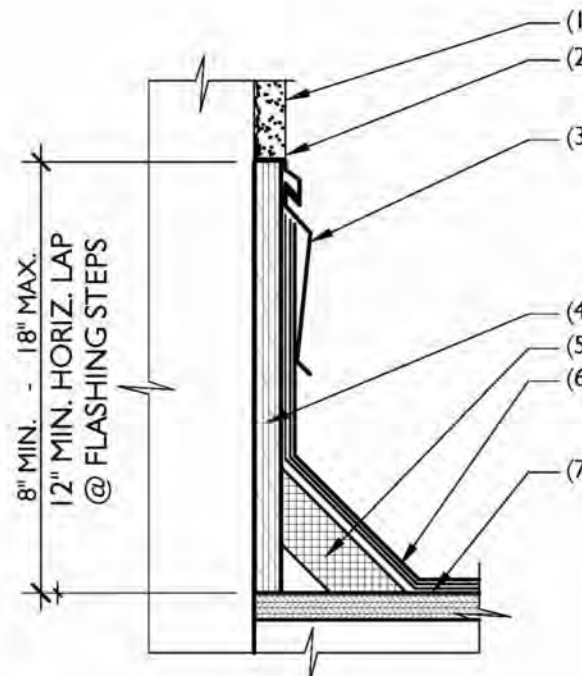
KEYNOTES:

1. WOOD HIP BEAM PER FRAMING PLAN.
2. WOOD BEAM / JOIST PER FRAMING PLAN.
3. 5/8" DIA THRU BOLT COUNTERSUNK EACH SIDE. **

NOTE: **
HUG SKEWED HANGER MAY BE USED IN LIEU OF THRU BOLT.

11 JOIST TO VALLEY BEAM

SCALE: 3/4" = 1'-0"

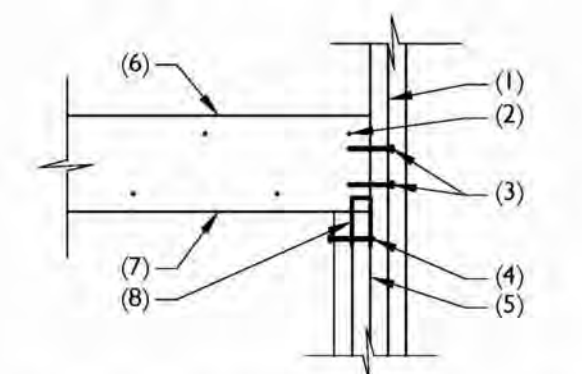


KEYNOTES:

1. STUCCO FINISH OVER METAL LATH WHEN NEEDED W/ STUCCO T STOP.
2. CASING BEAD & SEALANT.
3. REGLET & COUNTERFLASHING.
4. PLYWOOD BACKING.
5. 4" CANT STRIP.
6. 3-PLY BUILT-UP ROOFING.
7. ROOF SHEATHING.

12 TYPICAL FLASHING

NTS



KEYNOTES:

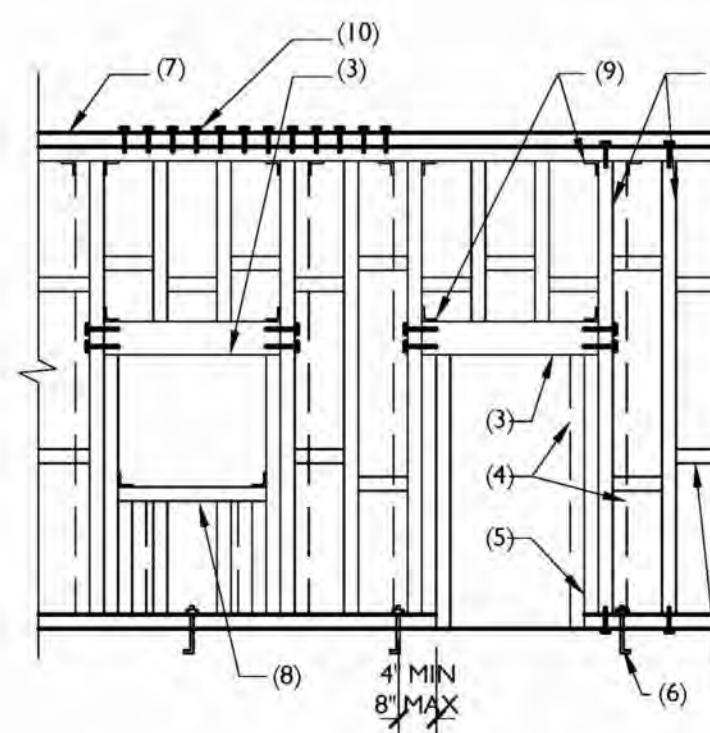
1. 2 X JAMB STUDS CONTINUOUS TO TOP PLATE - SEE SCHEDULE FOR NUMBER.
2. 16d NAILS AT 12" O.C. - STAGGER AT BUILT-UP HEADERS.
3. 2-16d NAILS TYPICAL.
4. 16d NAILS AT 12" O.C. STAGGERED STUD TO STUD.
5. 2 X JACK STUDS - SEE SCHEDULE FOR NUMBER.
6. HEADER.
7. PROVIDE PLYWOOD SPACERS BETWEEN MEMBERS AS REQUIRED.
8. SIMPSON RSM EACH JACK STUD TO HEADER TYPICAL.

OPENING WIDTH	LINTEL AT BEARING WALL OR SHEARWALL	LINTEL AT OTHER WALLS	# OF JACK STUDS BEARING	# OF JACK STUDS NON-BRG	# OF JAMB STUDS
0'-0" TO 4'-0"	2 - 2 X 8	2 - 2 X 4	1	1	2
4'-1" TO 6'-0"	2 - 2 X 10	2 - 2 X 6	2	1	3
6'-1" TO 8'-0"	2 - 2 X 12	2 - 2 X 8	2	1	3

SCHEDULE APPLIES UNLESS OTHERWISE NOTED ON FRAMING PLANS.
SEE TYPICAL WOOD STUD WALL FRAMING DETAIL.

13 TYPICAL HEADER

SCALE: 3/4" = 1'-0"

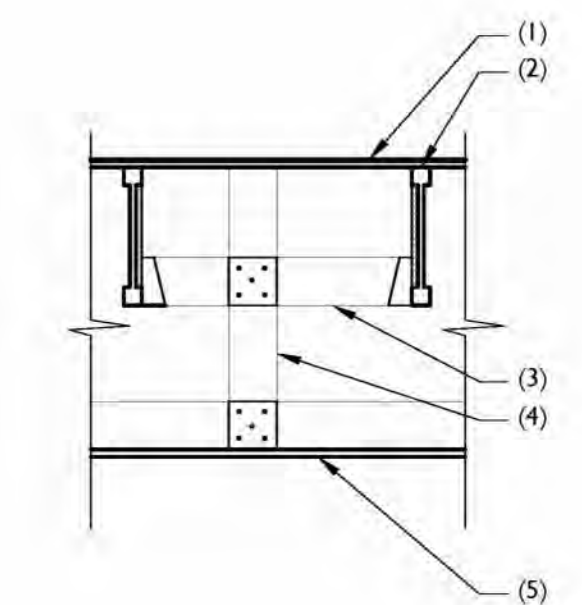


KEYNOTES:

1. WOOD STUDS (SPACING PER PLAN) W/ 2-16d NAILS TO TOP & BOTTOM PLATE.
2. 2 X BLOCKING @ MID HEIGHT OR @ 5'-0" O.C. MAX.
3. HEADER PER SCHEDULE OR PLAN W/ 2-16d NAILS EACH END.
4. DOUBLE STUDS PER TYPICAL HEADER SCHEDULE - CONNECT STUD TO STUD W/ 16d @ 16" O.C. STAGGERED TYP UNO.
5. TRIM STUD TYPICAL.
6. ANCHOR BOLTS IN 2 X PRESSURE TREATED WOOD PLATE. SEE GSN / DETAILS FOR SIZE AND SPACING.
7. CONTINUOUS DOUBLER TOP PLATE. SPLICE W/ 12-16d EACH SIDE OF SPLICE UNO.
8. 2 X WOOD SILL. USE 2 - 2X SILL @ OPENINGS GREATER THAN 8'-0".
9. SIMPSON A14 TYPICAL AS SHOWN.
10. 8-16d NAILS AT TOP PLATE SPLICE.

14 TYPICAL WOOD STUD WALL

SCALE: 3/4" = 1'-0"



KEYNOTES:

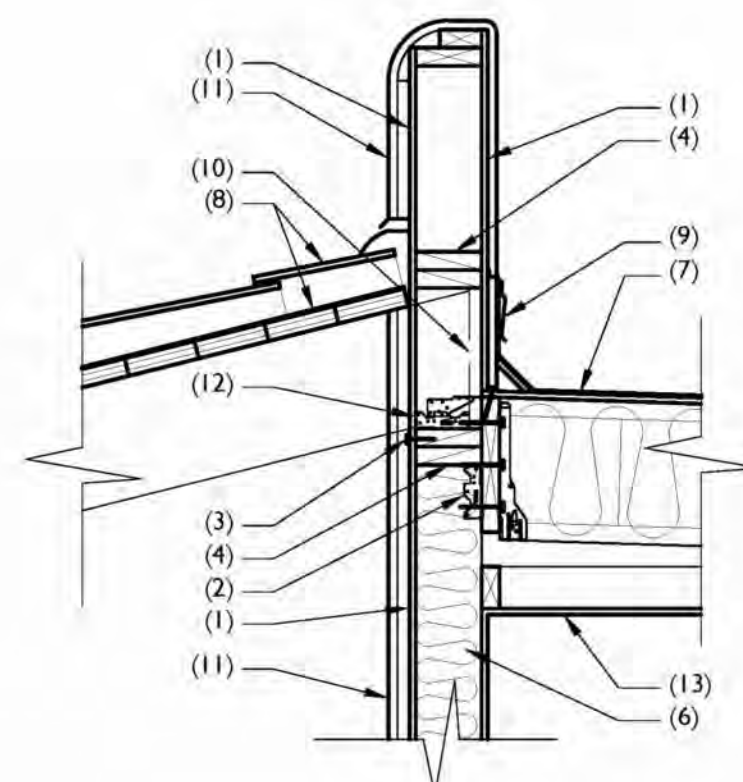
1. BUILT-UP ROOFING ON SHEATHING PER GSN WITH JOIST PER FRAMING PLAN TYP.
2. WOOD JOIST PER FRAMING PLAN W/ WEB STIFFENERS AT EACH SUPPORT LOCATION.
3. 2 X 4 BLOCKING @ EACH LEG SUPPORT W/ SIMPSON LU HANGERS.
4. 2 X 4 SUPPORT W/ 5-16d NAILS AT EACH END.
5. 2 X 4S @ 24" O.C. FURR DOWN GYPSUM BOARD CEILING PER RCP.

15 TYPICAL FURR CEILING

SCALE: 3/4" = 1'-0"

6 NOT USED

NTS

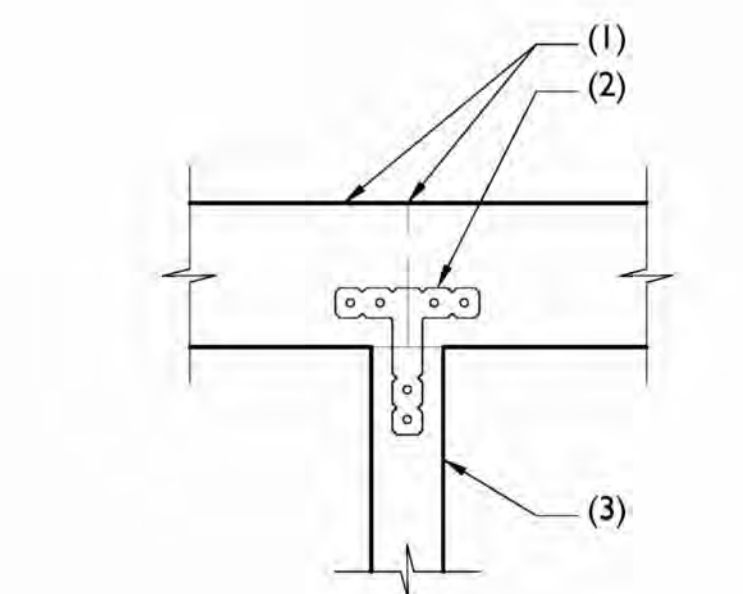


KEYNOTES:

1. PLYWOOD SHEATHING.
2. 2 X 12 LEDGER W/ 3-16d A35 & SIMPSON H2.5' @ EACH STUD.
3. EDGE NAILING.
4. 2X BLOCKING ABOVE AND BELOW WOOD BEAM.
5. NOT USED.
6. 2X STUD WALL PER PLAN.
7. BUILT-UP ROOFING ON SHEATHING PER GSN WITH JOIST PER FRAMING PLAN TYP.
8. CLAY ROOF TILE OVER 40# FELT PAPER OVER 2X WOOD DECKING ON WOOD BEAMS PER FRAMING PLAN.
9. FLASHING / COUNTER FLASHING.
10. ROCKET BEAMS TYP.
11. STUCCO FINISH ON 1" FOAM BOARD. SEE ELEVATIONS FOR LOCATIONS.
12. A35 W/ 3-WAY BEND AT EACH SIDE OF BEAM OR JOIST.
13. 1/2" GYPSUM BOARD.

7 PORCH BEARING

SCALE: 3/4" = 1'-0"

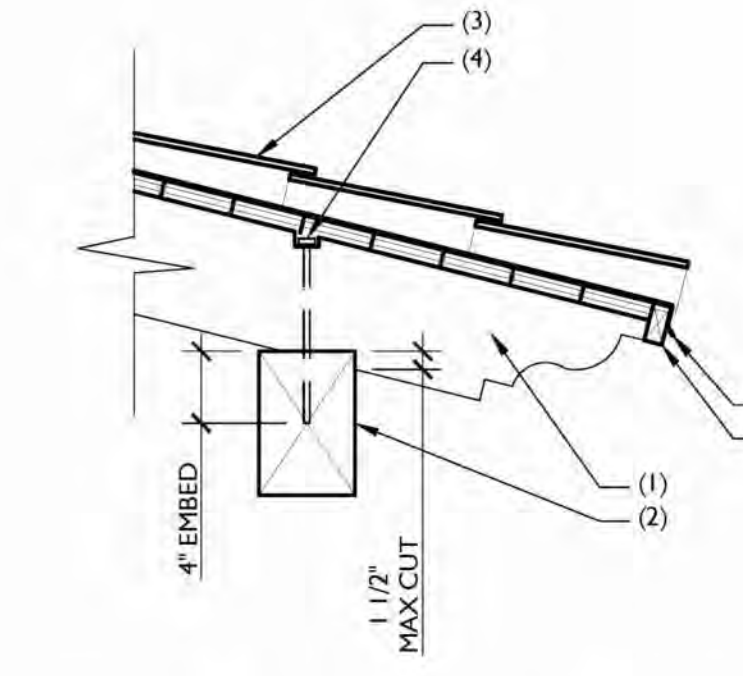


KEYNOTES:

1. WOOD BEAM PER PLAN. SPLICE @ CENTERLINE OF POST AS OCCURS.
2. SIMPSON OHT STRAP.
3. WOOD COLUMN PER PLAN.

8 PORCH BEAM TO COLUMN

SCALE: 3/4" = 1'-0"

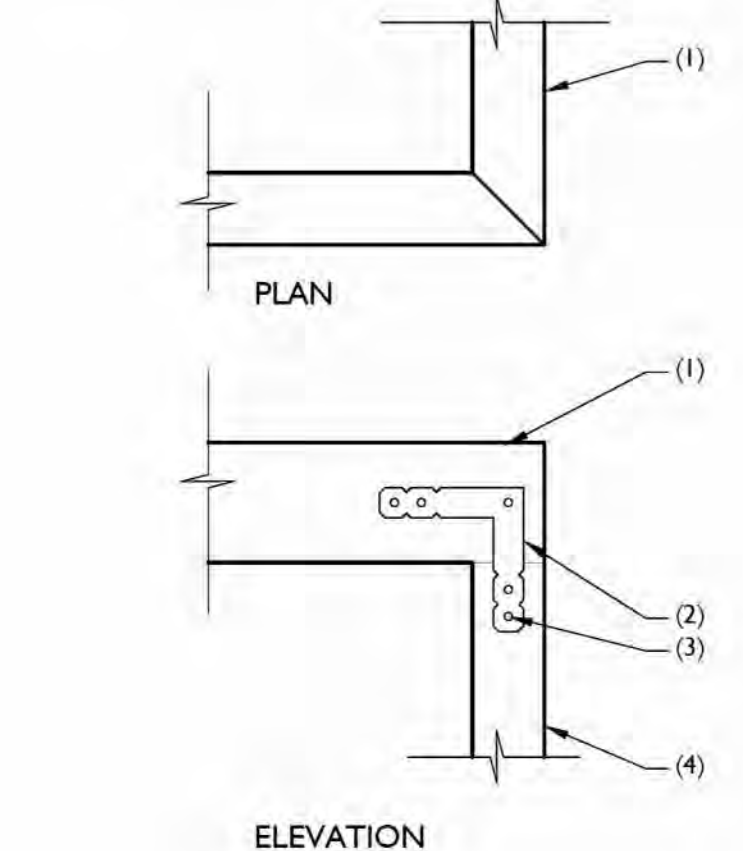


KEYNOTES:

1. RS WOOD BEAM PER FRAMING PLAN W/ CORBELED ENDS TO MATCH EXISTING.
2. RS WOOD BEAM PER FRAMING PLAN.
3. CLAY ROOF TILE OVER 40# FELT PAPER OVER 2X WOOD DECKING.
4. 1/2 DIA LAG BOLT. COUNTERSINK AT TOP OF BEAM / EMBED AS SHOWN.
5. 2X RS WOOD FASCIA.
6. METAL DRIP EDGE.

9 PORCH OVERHANG

SCALE: 3/4" = 1'-0"



KEYNOTES:

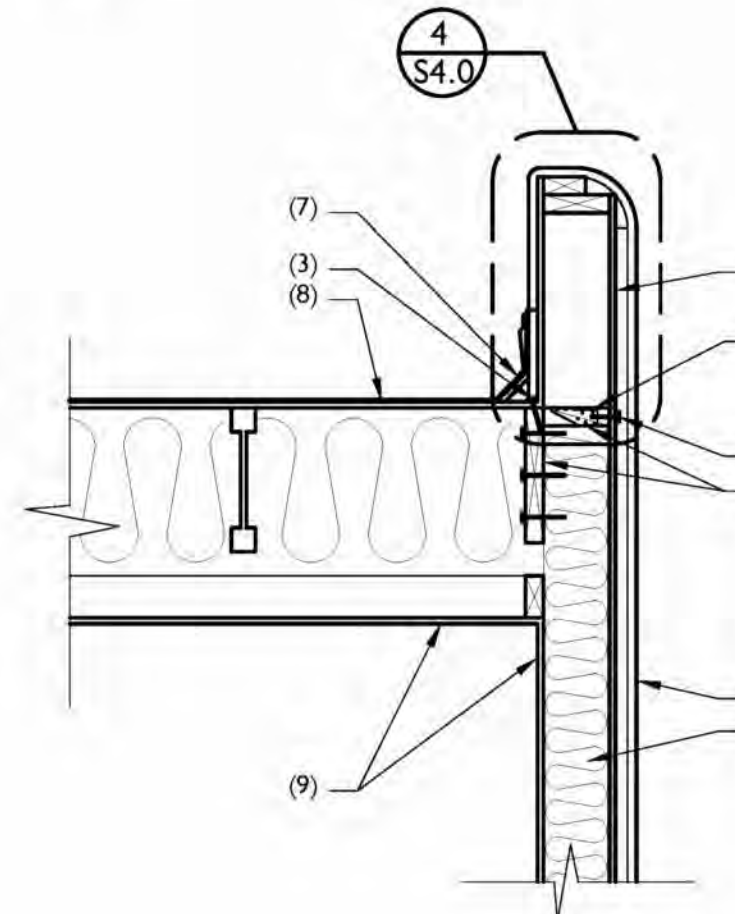
1. WOOD BEAM PER FRAMING PLAN. MITER BEAMS OVER POST.
2. SIMPSON OHL STRAP.
3. 5/8" DIA LAG BOLT(S).
4. WOOD POST PER PLAN.

10 CORNER BEAM TO POST

SCALE: 3/4" = 1'-0"

1 EXTERIOR BEARING WALL

SCALE: 3/4" = 1'-0"

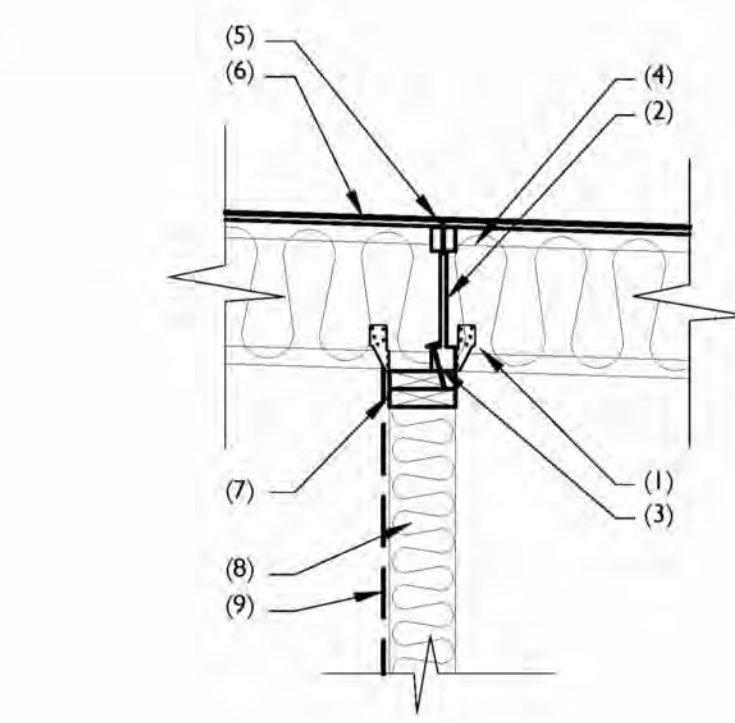


KEYNOTES:

1. PLYWOOD SHEATHING.
2. 2 X 10 LEDGER W/ 3-16d & SIMPSON H2.5' @ EACH STUD.
3. EDGE NAILING.
4. 2X BLOCKING W/ 3-16d LEDGER TO BLOCKING.
5. STUCCO FINISH ON 1" FOAM BOARD.
6. 2X WOOD STUD WALL PER PLAN.
7. PLYWOOD CANT / CRICKET.
8. BUILT-UP ROOFING ON SHEATHING PER GSN WITH JOIST PER FRAMING PLAN TYP.
9. 1/2" GYPSUM BOARD.

2 EXTERIOR NON-BEARING WALL

SCALE: 3/4" = 1'-0"

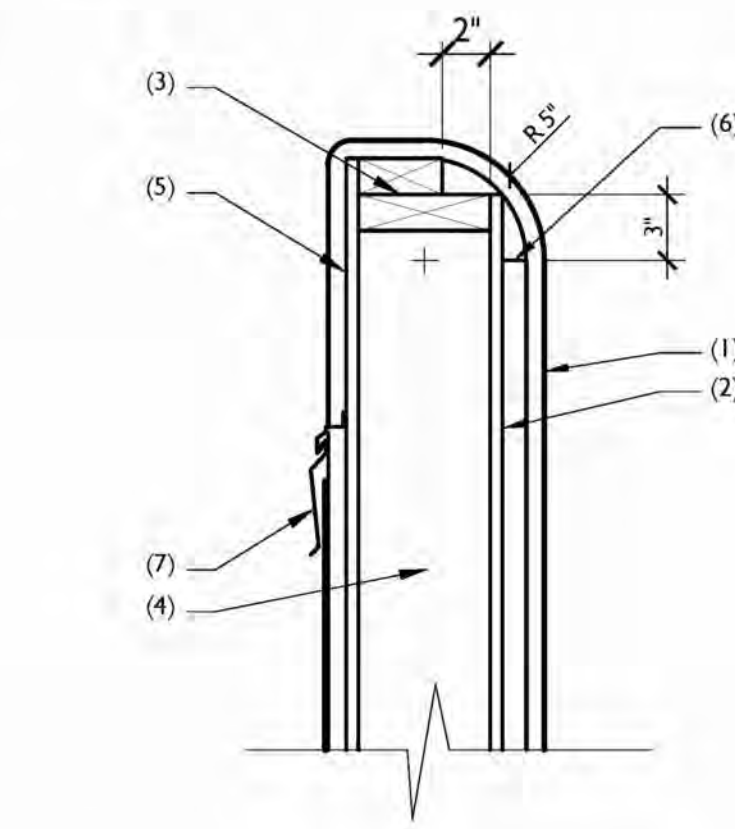


KEYNOTES:

1. SIMPSON H2.5 CLIP @ EACH JOIST.
2. WOOD JOIST BLOCKING.
3. 3-16d TOE NAILS INTO TOP PLATE.
4. WOOD JOIST PER SCHEDULE.
5. EDGE NAILING.
6. SHEATHING & ATTACHMENT PER G.S.N.
7. DOUBLE TOP PLATE.
8. 2X WOOD STUD WALL PER PLAN.
9. WALL SHEATHING & ATTACHMENT AS OCCURS.

3 INTERIOR BEARING WALL

SCALE: 3/4" = 1'-0"



KEYNOTES:

1. STUCCO FINISH ON 1" FOAM BOARD TYP.
2. SHEATHING PER GSN / STRUCTURAL PLANS.
3. DOUBLE TOP PLATE. HOLD BACK FOR RADIUS AS SHOWN.
4. 2X WOOD STUD WALL PER PLAN.
5. 1/2" PLYWOOD TYP @ BACK OF PARAPET. HOLD BACK FOAM BOARD AS SHOWN FOR RADIUS.
6. FLASHING / COUNTER FLASHING.

4 PARAPET CAP @ WOOD STUD WALL

SCALE: 1 1/2" = 1'-0"



KEYNOTES:

1. WOOD BEAM PER FRAMING PLAN. MITER BEAMS OVER POST.
2. SIMPSON OHL STRAP.
3. 5/8" DIA LAG BOLT(S).
4. WOOD POST PER PLAN.

5 NOT USED

NTS



Revisions

FRAMING DETAILS

GARIGAN RESIDENCE
GUEST HOUSE
7288 North Cathedral Rock Road
Tucson, Arizona 85718

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NOTE:
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MECHANICAL PLAN, NOTES & SCHEDULES

**GARIGAN RESIDENCE
GUEST HOUSE**
7288 North Cathedral Rock Rd
Tucson, Arizona 85718

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Project 24087

Date 1.30.25

Scale	Noted
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Mechanical Notes

1. ALL WORK TO BE PER 2018 IRC WITH LOCAL AMENDMENTS, SMACNA AMENDMENTS, AND ASHRAE STANDARDS.
2. HVAC SYSTEM DESIGN EQUIPMENT SIZING AND INSTALLATION SHALL BE PER PLAN, MANUAL J AND S CALCULATIONS, AND IRC CHAPTER 14 REQUIREMENTS. DUCT SYSTEMS SERVING HEATING, COOLING, AND VENTILATION SYSTEMS SHALL BE IN ACCORDANCE WITH PROVISIONS OF SECTION M1601, ACCA MANUAL D GUIDELINES, AND MANUFACTURER INSTALLATION INSTRUCTIONS.
3. PROVIDE R-8 DUCT INSULATION (SUPPLY RETURN) AND SEAL ALL DUCTS, AIR HANDLERS, AND FILTER BOXES PER N 103.3.
4. ACCESS TO APPLIANCES LOCATED IN ATTICS SHALL BE PROVIDED WITH OPENINGS AND CLEAR / UNOBSTRUCTED PASSAGeways LARGE ENOUGH TO ALLOW REMOVAL OF THE LARGEST APPLIANCE, BUT NOT LESS THAN 22"x30" PER M1305.1.2.
5. A LUMINAIRE CONTROLLED BY SWITCH LOCATED AT THE REQUIRED OPENINGS AND A RECEPTACLE OUTLET SHALL BE INSTALLED AT OR NEAR THE APPLIANCE LOCATIONS IN ACCORDANCE WITH IRC CHAPTER 39 PER M1305.1.2.1.
6. HEAT PUMPS WITH SUPPLEMENTARY ELECTRIC-RESISTANCE HEAT SHALL HAVE CONTROLS PER N 103.1.2.
7. TEXTHAST DUCTS AND OPENINGS SHALL BE INSTALLED PER CHAPTER 15.
8. PRIMARY EXHAUST DUCTS SHALL TERMINATE 6" ABOVE GRADE AT THE NEARLY SIDE-YARD EXTERIOR WALL FROM APPLIANCE AND BE INSTALLED PER M141.1.3. AN AUXILIARY CONDENSATE DRAIN LINE SHALL BE INSTALLED NEAR PRIMARY LINE AND ABOVE THE CLOSEST WINDOW TO BE CONSPICUOUS WHEN DISCHARGING WASTE WATER PER M141.1.3 FOR ATTIC INSTALLATIONS.
9. RANGE HOOD (120 CFM MINIMUM) SHALL BE INSTALLED PER M1503.
10. CLOTHES DRYER EXHAUST SHALL BE INSTALLED PER M1502.
11. ALL DUCT PENETRATIONS THROUGH ROOF SHALL BE FLASHED AND COUNTER-FLASHED WATERTIGHT.
12. PROVIDE MECHANICAL VENTILATION PER N 103.6. AND M1505.

Specifications

1. FLEXIBLE DUCT TO BE VERSATILE ELP.
2. RECTANGULAR DUCT SHALL BE 26 GAUGE.
3. DUCT PENETRATIONS THRU GARAGE WALLS AND CEILINGS SHALL BE 26 GAUGE.
4. CEILING DIFFUSERS SHALL BE AIRMATE 6000 SERIES.
5. SIDEWALL REGISTERS SHALL BE AIRMATE 90V SERIES.
6. RETURN AIR GRILLES SHALL BE AIRMATE E280 SERIES.

Equipment Schedule

SYSTEM NAME = GUEST HOUSE

SYSTEM TYPE: SPLIT GAS / ELECTRIC TWO STAGE

CU-I
AMERICAN STANDARD
2.0 TON / 16.00 SEER2 / 80% AFUE
AHRI CERTIFICATION #208772797
CONDENSING UNIT: 4A7A6024N1000A
GAS FURNACE: AUD2B060A9V3VB

SYSTEM COOLING CAPACITY:
17,000 BTU (SEN) / 4,900 (LAT) @ 105 OD / 75 ID

GAS HEATING CAPACITY (NG):
60,000 BTU (SEN) / 48,000 BTU (OUTPUT)

INDOOR FAN PERFORMANCE:
900 CFM @ 0.70" AVSP

ELECTRICAL UTILITY REQUIREMENTS:
CU-1: 230V / 1PH - 13.4 MCA / 20A FUSES
FC-1: 120V / 1PH - 10.5 MCA / 15A FUSE

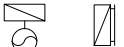









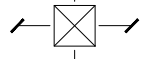
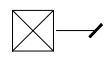




DIMENSIONS PER MANUFACTURER SUBMITTALS

REQUIRED CLEARANCES PER MANUFACTURER AND LOCAL REQUIREMENTS.

EXHAUST FAN

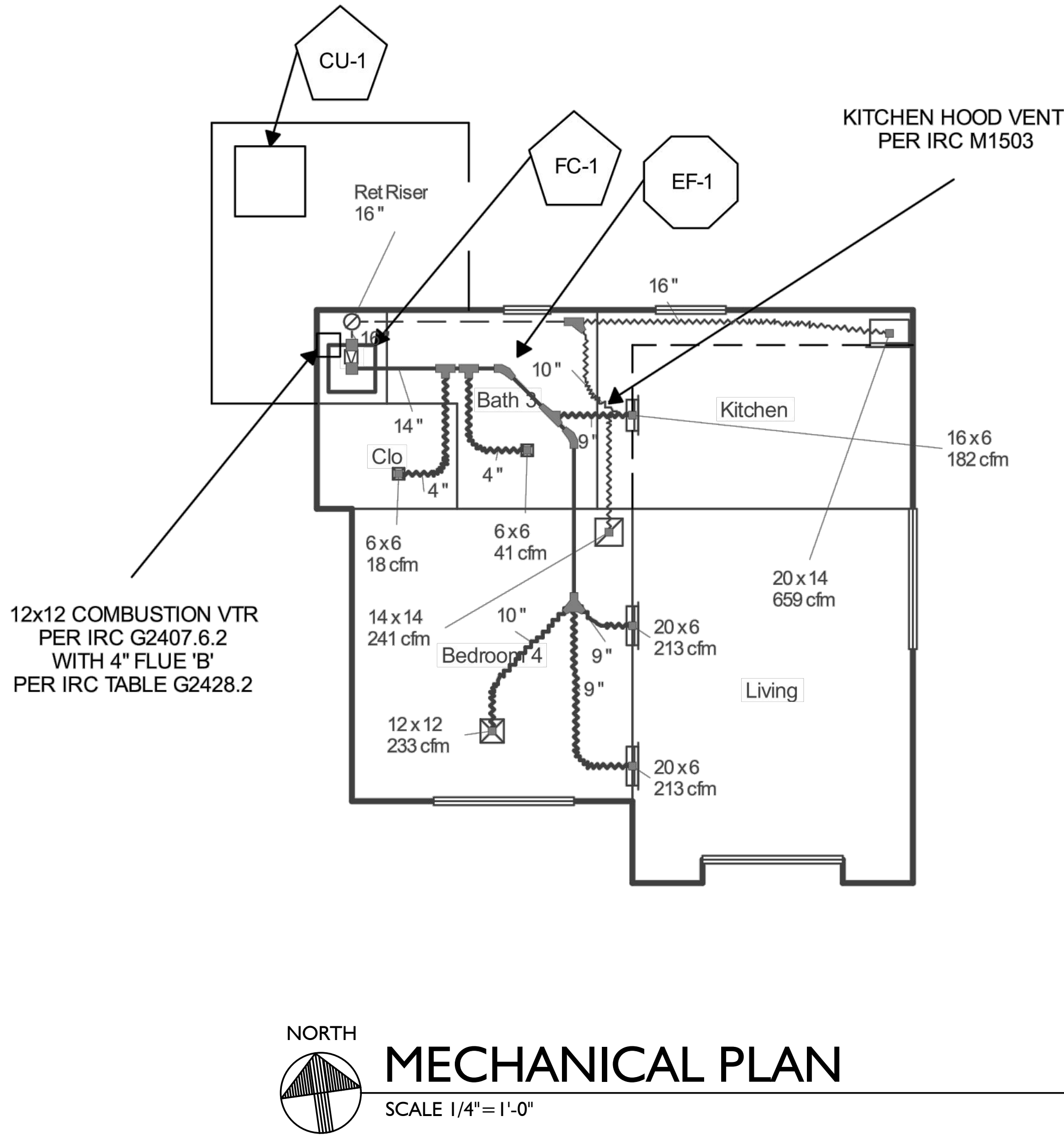
EF-1
BROAN PTE511RK 50-80-110 CFM
0.5-0.9 SONES
120V, 0.5A, 6" VENT
DIMENSIONS: 11" X 12" X 7.5"H
CONTINUOUS OPERATION FAN TO MEET FRESH AIR
REQUIREMENTS PER 2018 IRC TABLE M1505.4.3
PROGRAM FOR 50 CFM FOR 36 MINUTES EA/ HOUR

Symbol Legend

SYMBOL	DESCRIPTION
	HOOD VENT THROUGH ROOF / WALL
	EXHAUST FAN
	4"Ø DRYER VENT THROUGH ROOF
	4"Ø DRYER VENT THROUGH WALL
	3"-4"-5'-6"Ø FLUE THROUGH ROOF
	TRANSFER GRILLE - SIZE VARIES
	THERMOSTAT / SENSOR
	FRESH AIR IN - 6"-10"Ø VENT THROUGH ROOF
	ZONE DAMPER
	TRANSFER GRILLE ABOVE DOOR
	CEILING SUPPLY DIFFUSER - 4 WAY
	CEILING SUPPLY DIFFUSER - 1 WAY
	SIDEWALL SUPPLY REGISTER
	3"-4"-6"Ø VENT THROUGH WALL
	RETURN AIR GRILLE
	DUCT ELEVATION CHANGE

Mechanical General Notes

1. ALL MECHANICAL CONTRACTING WORK SHALL COMPLY WITH 2018 IRC, CHAPTERS 12 THROUGH 24 AND /OR MANUFACTURER SPECIFICATIONS AS DEEMED APPLICABLE BY THE BUILDING OFFICIAL IN THE LOCAL JURISDICTION.
2. MECHANICAL DESIGN BASED UPON THE FOLLOWING CONDITIONS: 105 OD R-13 / 16 G. 63 IDWB (COOLING) AND 32 OD / 70 ID (HEATING).
3. ALTERNATIVE HVAC SYSTEMS MAY BE SUBSTITUTED ONLY IF DOCUMENTATION IS PROVIDED SHOWING ADHERENCE TO THE SENSIBLE BTU RATINGS AND PERFORMANCE DATA REQUIRED AS INDICATED BY THE MANUAL J, S, AND D CALCULATIONS THAT ACCOMPANY THIS MECHANICAL DESIGN.
4. ALL DUCT SYSTEMS SHALL COMPLY WITH GUIDELINES PER CHAPTER X OF THE 2018 IRC.
5. DUCTWORK LOCATED WITHIN THE THERMAL ENVELOPE SHALL HAVE AN INSULATION R-VALUE OF 6. DUCTWORK LOCATED ABOVE / OUTSIDE THE THERMAL ENVELOPE SHALL HAVE AN INSULATION R-VALUE OF 8. ROOFTOP EXTERIOR DUCT SHALL REQUIRE 2-INCH INTERNAL FIBERGLASS LINER.
6. MECHANICAL AIRFLOW DESIGN BASED UPON NOMINAL 400 CFM PER TON @ 0.50 INCHES W.C. STATIC. ACTUAL SYSTEM CFM OUTPUT MAY VARY. REFER TO EQUIPMENT SCHEDULE FOR DETAILS.
7. MECHANICAL ITEM SPECIFICATIONS, DIMENSIONS, CONSTRUCTION TYPES, AND LOCATIONS ARE SUBJECT TO CHANGE UPON SITE INSPECTION BY HVAC FIELD ENGINEER.
8. UPON SUBMITTAL OF THIS DESIGN, IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO ENSURE THAT ADEQUATE CLEARANCE IS MAINTAINED FOR ALL MECHANICAL COMPONENTS. TRUSSES MUST ALLOW FOR AT LEAST 30 INCHES OF LOW-SIDE CLEARANCE FOR DUCT SYSTEMS.
9. ALL ROOMS THAT RECEIVE SUPPLY AIR DELIVERY GREATER THAN 100 CFM SHALL INCLUDE EITHER A DUCTED RETURN OR TRANSFER GRILLE TO AVOID EXCESSIVE TEMPERATURE VARIANCE.
10. RAISED PLATFORMS SHALL BE PROVIDED FOR WATER HEATERS ONLY. FURNACES AND AIR HANDLERS SHALL HAVE DUCTED RETURNS AND NEVER DRAW RETURN AIR THROUGH RAISED FLOORS OR PLATFORMS.
11. KITCHEN HOOD VENTS WITH EXHAUST RATES IN EXCESS OF 400 CFM SHALL REQUIRE MAKE-UP AIR SYSTEMS PER M1503.4. RANGE HOOD INSTALLATION SHALL BE PROVIDED BY OTHERS AND THE MECHANICAL INTERLOCK BETWEEN RANGE HOODS AND MAKE-UP AIR DAMPERS SHALL BE PROVIDED BY THE ELECTRICAL CONTRACTOR.
12. MECHANICAL VENTILATION SHALL BE PROVIDED VIA DUCTED CONNECTION TO OUTDOORS WITH WALL CAP, ROOF JACK, OR OUTDOOR AIR DAMPER ASSEMBLY (TYPE AND LOCATION TO BE DETERMINED BY FIELD ENGINEER AND GENERAL CONTRACTOR. HVAC SYSTEM FAN SHALL BE ECM (X-13 OR FULL VARIABLE SPEED) PER ENERGYSAVE GUIDELINES. INTERMITTENT VENTILATION RATES SHALL COMPLY WITH 2012 IRC TABLE M1507.3.3(2) AND PROGRAMMED VIA COMFORT CONTROL (HONEYWELL 9000) OR EQUIV.
13. REMOVE CEILING / WALL ACCESS PANELS MUST BE PROVIDED ALLOW FOR SERVICE / REPLACEMENT OF ALL DAMPERS INCLUDING ZONE DAMPERS, BYPASS DAMPERS, AND MAKE-UP AIR DAMPERS WHEN APPLICABLE.
14. CARBON MONOXIDE ALARMS / DETECTION SYSTEMS MUST BE INSTALLED PER R315 FOR ALL HOMES WITH GAS-FIRED APPLIANCES OR ATTACHED GARAGES.
15. VENTILATION AND INDOOR AIR QUALITY PER ASHRAE STANDARD 62.2-2012.



NOTE:
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Revisions

ELECTRICAL NOTES,
SCHEDULES
& CALCULATIONS

GARIGAN RESIDENCE
GUEST HOUSE
7288 North Cathedral Rock Road
Tucson, Arizona 85718

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General Electrical Notes

- ELECTRICAL INSTALLATION SHALL COMPLY WITH ELECTRICAL CODES IN EFFECT IN THIS AREA AND THE 2018 EDITION OF THE INTERNATIONAL RESIDENTIAL CODE.
- ELECTRICAL PANELS: SQUARE 'D' TYPE 'QO' PLUG-IN OR EQUAL.
- WIRE SIZES A. 15A BREAKERS: #14(CU)
B. 20A BREAKERS: #12(CU)
C. OR AS NOTED ON DRAWINGS.
- VERIFY EXACT LOCATION OF MECHANICAL EQUIPMENT THERMOSTATS AND CONTROL WIRING, SIZE OF EQUIPMENT, EG (HP, AMPS, VOLTAGE, ETC.) PRIOR TO ROUGH-IN AND COMPLY AS REQUIRED.
- ELECTRICAL CONTRACTOR SHALL PROVIDE WIRING NECESSARY AND CONNECT SPECIAL CONTROLS FURNISHED BY MECHANICAL CONTRACTOR.
- FUSES FOR A/C UNITS AND MOTORS SHALL BE TYPE 'FRN'.
- DISCONNECT SWITCHES FOR MOTORS SHALL BE HP RATED. MOTORS SHALL BE PROTECTED WITH PROPER SIZED FUSETRONS.
- THE FOLLOWING ITEMS MAY BE USED WHERE PERMITTED BY CODE:
A. NON-METALLIC TYPE CABLE.
B. NON-METALLIC DEVICE BOXES.
C. PVC
D. SER CABLE #4 OR LARGER MAY BE USED FOR FEEDER AND BRANCH CIRCUIT.
- RECEPTACLES SHALL BE LEVITON OR EQUAL.
A. ALL NEW / REPLACED RECEPTACLES TO BE TAMPER-RESISTANT PER IRC 2018 4002.14.
B. BATHROOM / OUTDOOR / GARAGE RECEPTACLES PER IRC 2018 3902.1 GFCI PROTECTION.
C. ALL OTHER ROOM RECEPTACLES TO COMPLY WITH IRC 2018 3902.12 AFCI PROTECTION.
- LIGHT SWITCHES SHALL BE LUTRON 'ROCKER' TYPE FOR STANDARD LOCATIONS AND 'SKYLARK' SERIES FOR ALL DIMMER LOCATIONS. MOUNT FLUSH WITH PLATES OF PROPER GANG AS REQUIRED. COLOR SHALL BE WHITE - VERIFY WITH OWNER.
- LIGHT FIXTURES PER IRC N1104.1. TO BE SELECTED BY OWNER, FURNISHED AND INSTALLED BY ELECTRICAL CONTRACTOR.
- CONTRACTOR SHALL INSTALL TV SYSTEM COMPLETE WITH TV OUTLETS IN ROOMS AS SHOWN. TV CABLE SHALL BE INSTALLED IN 'ABS' PLASTIC RACEWAY EXCEPT IN STUD WALLS OR FURRED AREAS.
- ELECTRICAL CONTRACTOR SHALL COORDINATE WITH LOCAL CABLE, TELEPHONE AND POWER COMPANIES FOR EXACT ROUTING OF UNDERGROUND LINES AND TRENCHING PRIOR TO ROUGH-IN AND COMPLY AS REQUIRED.
- OUTLET SPACING PER IRC E3901.2.
- CLOSET LIGHTING PER IRC E4003.12.
- OUTLETS ABOVE COUNTERTOPS IN KITCHENS SHALL BE GFCI
- SMOKE DETECTOR INSTALLATION PER IRC R314:
A. SMOKE DETECTORS SHALL BE HARD WIRED W/ BATTERY BACKUP.
B. WALL: MINIMUM 6" MAXIMUM 12" BELOW CEILING MINIMUM 18" FROM CORNERS OR PER LISTING.
C. CEILING: MINIMUM 6" FROM VERTICAL SURFACES OR PER LISTING.
D. INSTALLATION SHALL BE A MINIMUM OF 3'-0" FROM ANY MECHANICAL SUPPLY OR RETURN GRILLE.
- VERIFY ALL HEIGHTS AND LOCATIONS OF OUTLETS AND SWITCHES WITH OWNER.
- CEILING FANS SHALL BE MOUNTED TO APPROVED BOXES PER IRC E3805.9. CONDUCTOR AMPACITIES AND TYPES SHALL COMPLY WITH IRC TABLE E3705.1. ALL CONDUCTORS SHALL BE COPPER AND RATED A MINIMUM OF 75 DEGREES CELSIUS.
- CONTRACTOR SHALL PROVIDE SECURITY SYSTEM PRE-WIRE THROUGHOUT THE HOUSE. COORDINATE ALL REQUIREMENTS WITH OWNER.
- VERIFY ALL HEIGHTS OF LIGHT SWITCHES AND RECEPTACLES WITH OWNER PRIOR TO ROUGH-IN. ALL HEIGHTS NOTED ON PLANS ARE TO BOTTOM OF BOX.
- CEILING FANS SHALL BE FURNISHED BY OWNER AND INSTALLED BY CONTRACTOR.
- ALL BRANCH CIRCUITS THAT SUPPLY 125 VOLT, SINGLE PHASE, 15 AND 20 AMPERE OUTLETS INSTALLED IN DWELLING UNIT FAMILY ROOMS, DINING ROOMS, LIVING ROOMS, PARLORS, LIBRARIES, DENS, SUNROOMS, RECREATION ROOMS, CLOSETS, HALLWAYS AND BEDROOMS SHALL BE PROTECTED BY AN ARC FAULT CIRCUIT INTERRUPTER LISTED TO PROVIDE PROTECTION FOR THE ENTIRE BRANCH CIRCUIT PER 2018 IRC SECTION E3902.12.
- CARBON MONOXIDE DETECTORS SHALL COMPLY WITH R315.1-4.
- A MINIMUM OF 90% OF THE LAMPS IN PERMANENTLY INSTALLED LIGHTING FIXTURES SHALL BE HIGH EFFICIENCY PER N1104.1.
- ALL OUTDOOR BUILDING AND LANDSCAPE LIGHTING SHALL COMPLY WITH LOCAL CC&RS AND PIMA COUNTY OUTDOOR LIGHTING CODE.
- LANDSCAPE LIGHTING PROVIDED BY THE OWNER / CONTRACTOR SHALL COMPLY WITH APPLICABLE LIGHTING CODE / ORDINANCE AND BE SUBMITTED FOR APPROVAL AS REQUIRED.

Panel Scedule(s)

MAIN ELECTRICAL PANEL 'M'							
400A COMBINATION METER SOCKET PANEL 120 / 240V, 1Ø, 3 WIRE, NEMA 3R, 10K AIC PANEL 'M' 400A MCB							
CIR	BK/BR	DESCRIPTION	WIRE	WIRE	BK/BR	DESCRIPTION	CIR
1	200	SUB-PANEL 'A'	(E)	#1 (AL)	100	SUB-PANEL 'B'	2
3							4
5	50	EAST A/C	(E)	(E)	60	CAR CHARGER	6
7							8
9	50	RANGE	(E)	(E)	50	OVEN	10
11							12
13	20	LAUNDRY GFCI	(E)	(E)	50	WEST A/C	14
15	20	WEST FURNACE	(E)				16
17	20	GARAGE GFCI	(E)	(E)	20	VACUUM SYSTEM	18
19	20	EXTERIOR GFCI	(E)				20
21	20	LANDSCAPE	(E)	(E)	20	IRRIGATION	22
23	20 AFCI	GARAGE LIGHTS	(E)	(E)	20	GARAGE DOORS	24
ELECTRICAL LOAD CALCULATION 'M'							
GENERAL LIGHTING (1388 SF @ 3 WATTS / SF)							4,164 WATTS
SEWER EJECTOR							4,500 WATTS
FURNACE 1							3,000 WATTS
RECIRC PUMP							1,500 WATTS
WHIRLPOOL TUB							1,500 WATTS
APPLIANCE (2 @ 1500 W)							1,500 WATTS
SUBTOTAL							16,164 WATTS
1ST 10,000 WATTS @ 100%							10,000 WATTS
NEXT 6,164 WATTS @ 40%							2,466 WATTS
CU-1 (3.5 TON)							5,280 WATTS
FUTURE / CAR CHARGER							11,500 WATTS
TOTAL LOAD							29,246 WATTS
19,274 WATTS / 240 V (1Ø) =							122 AMPS
TOTAL LOAD / MAIN PANEL							
EXIST. PANEL 'M' = 122 AMPS							
EXIST. PANEL 'A' = 103 AMPS							
NEW PANEL 'B' = 69 AMPS							
TOTAL = 294 AMPS							
EXISTING SERVICE (400 AMP) / OK							

Outdoor Lighting Code

LOCATION LIGHTING AREA = E3a
PROJECT DISTURBED AREA (SEE SHEET A1.1) = 18,060 SF (.41 ACRES)

UNSHIELDED LUMEN LIMIT = 9,000 LU / ACRE
ACTUAL UNSHIELDED LIMIT (9,000 X .41) = 3,690 LU
PROJECT UNSHIELDED LUMENS
0 < 3,690 LU = OK

TOTAL LUMEN LIMIT = 39,000 LU / ACRE
ACTUAL LUMEN LIMIT (39,000 X .41) = 15,990 LU

PROJECT LUMENS:					
MARK	QUANTITY	LU / EA	NO SHIELD	SHIELDED	TOTAL LU
'A'	*2	650	-	YES	0
'D'	*2	150	-	YES	0

NOTE: *FULL CUT-OFF FIXTURES UNDER CANOPY NOT INCLUDED IN TOTAL LIGHT OUTPUT CALCULATIONS PER PIMA COUNTY OLC 2012 401.2.1.3

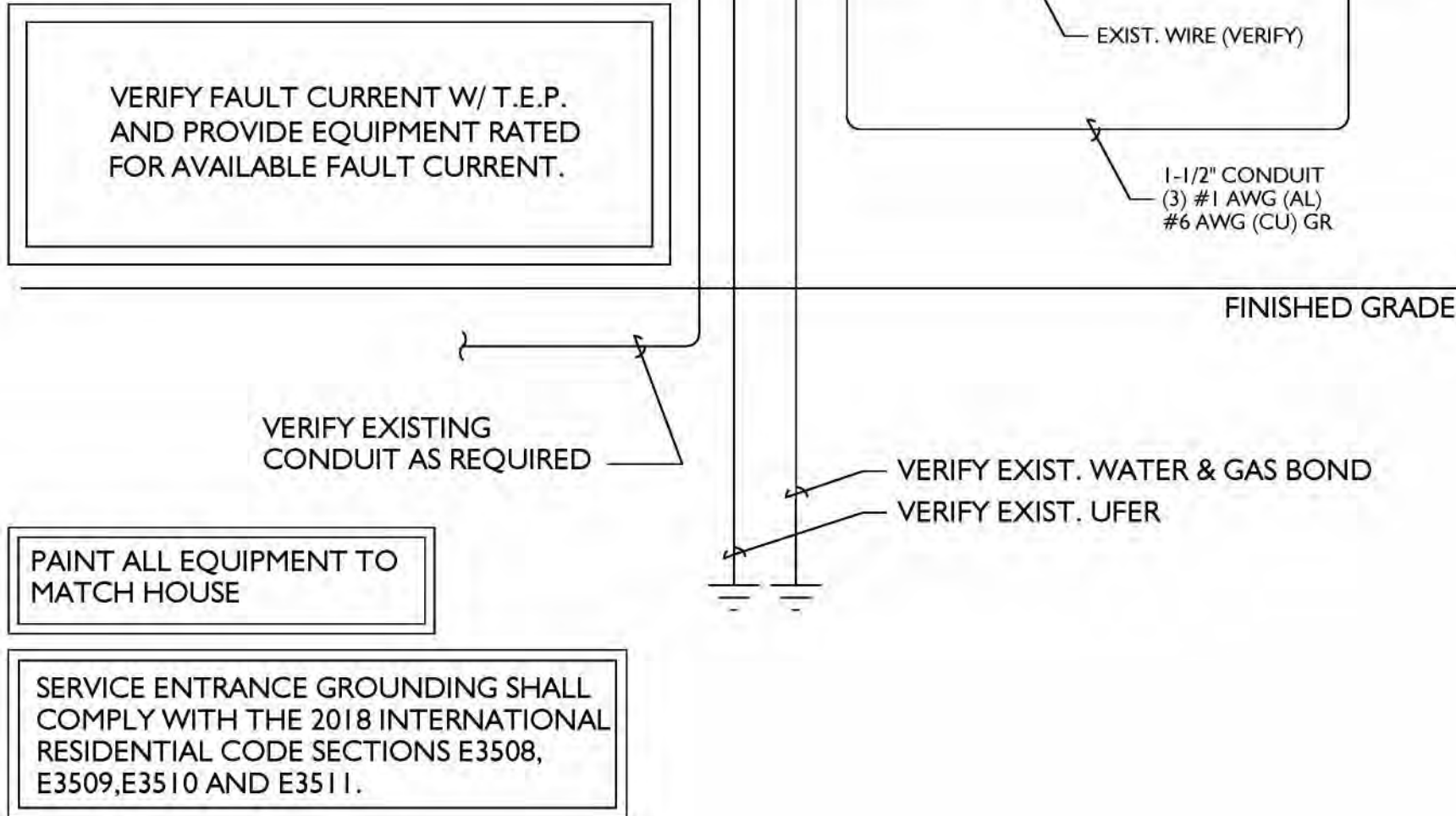
TOTAL EXISTING PROJECT LUMENS = 5,050 LU (P17BP06146)
TOTAL NEW PROJECT LUMENS = 0 LU (NO INCREASE)
5,050 < 15,990 = OK

ELECTRICAL SUB-PANEL 'A'							
200A PANEL 120 / 240V, 1Ø, 3 WIRE, NEMA 3R, 10K AIC PANEL 'A' 200A MCB							
CIR	BK/BR	DESCRIPTION	WIRE	WIRE	BK/BR	DESCRIPTION	CIR
1	40	OVENS	#6	#10	30	CU-2	2
3							4
5	40	COOKTOP	#6	#10	30	DRYER	6
7							8
9	20	HOOD / VENT	#12	#12	20	WASHER	10
11	20	REFRIGERATOR	#12	#12	20	FURNACE-2	12
13	20	MICROWAVE	#12	#12	20	WATER HEATER-2	14
15	20	DISH / DISPOSAL	#12	#12	20 GFCI	EXTERIOR RECEPTS	16
17	20 GFCI	KITCHEN RECEPTS	#12	#12	20 AFC	EXTERIOR LIGHTS	18
19	20 GFCI	KITCHEN RECEPTS	#12	#12	20 AFC	EXERCISE RECEPTS	20
21	20	KITCHEN LIGHTS	#12	#12	20	EXERCISE LIGHTS	22
23	20	KITCHEN LIGHTS	#12	#12	20 GFCI	MASTER BATH RECEPTS	24
25	20	GREAT ROOM RECEPTS	#12	#12	20	MASTER BATH LIGHTS	26
27	20	DINING RECEPTS	#12	#12	20	EXHAUST FANS	28
29	20	DINING LIGHTS	#12	#12	20 AFCI	MASTER CLO RECEPTS	30
31	20	GREAT ROOM LIGHTS	#12	#12	20	MASTER CLO LIGHTS	32
33	20 GFCI	LAUNDRY RECEPTS	#12	#12	20 AFCI	MASTER BED RECEPTS	34
35	20	LAUNDRY LIGHTS	#12	#12	20	MASTER BED LIGHTS	36
37	20	IRONING BOARD	#12	-	-	SPACE	38
39	-	SPACE	-	-	-	SPACE	40
ELECTRICAL LOAD CALCULATION 'A'							
GENERAL LIGHTING (2000 SF @ 3 WATTS / SF)							6,000 WATTS
DRYER							4,500 WATTS
COOKTOP							7,500 WATTS
OVENS							7,500 WATTS
MICROWAVE							1,500 WATTS
HOOD							1,500 WATTS
DISH / DISPOSAL							1,500 WATTS
WASHER							1,500 WATTS
IRONING BOARD							1,500 WATTS
FURNACE 2							2,160 WATTS
APPLIANCE (2 @ 1500 W)							2,000 WATTS
SUBTOTAL							38,160 WATTS
1ST 10,000 WATTS @ 100%							10,000 WATTS
NEXT 28,160 WATTS @ 40%							11,264 WATTS
CU-2 (2 TON)							3,360 WATTS
TOTAL LOAD							24,624 WATTS
24,624 WATTS / 240 V (1Ø) =							103 AMPS
PANEL 'A' (200 AMP) / OK							

One Line Diagram

NTS

EXISTING KWH METER / PANEL 400A
METER BASE W/ 400A PANEL. ALL
EQUIPMENT SHALL COMPLY W/
LOCAL POWER COMPANY
REQUIREMENTS.



NOTE:
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Revisions

Electrical Symbol Legend

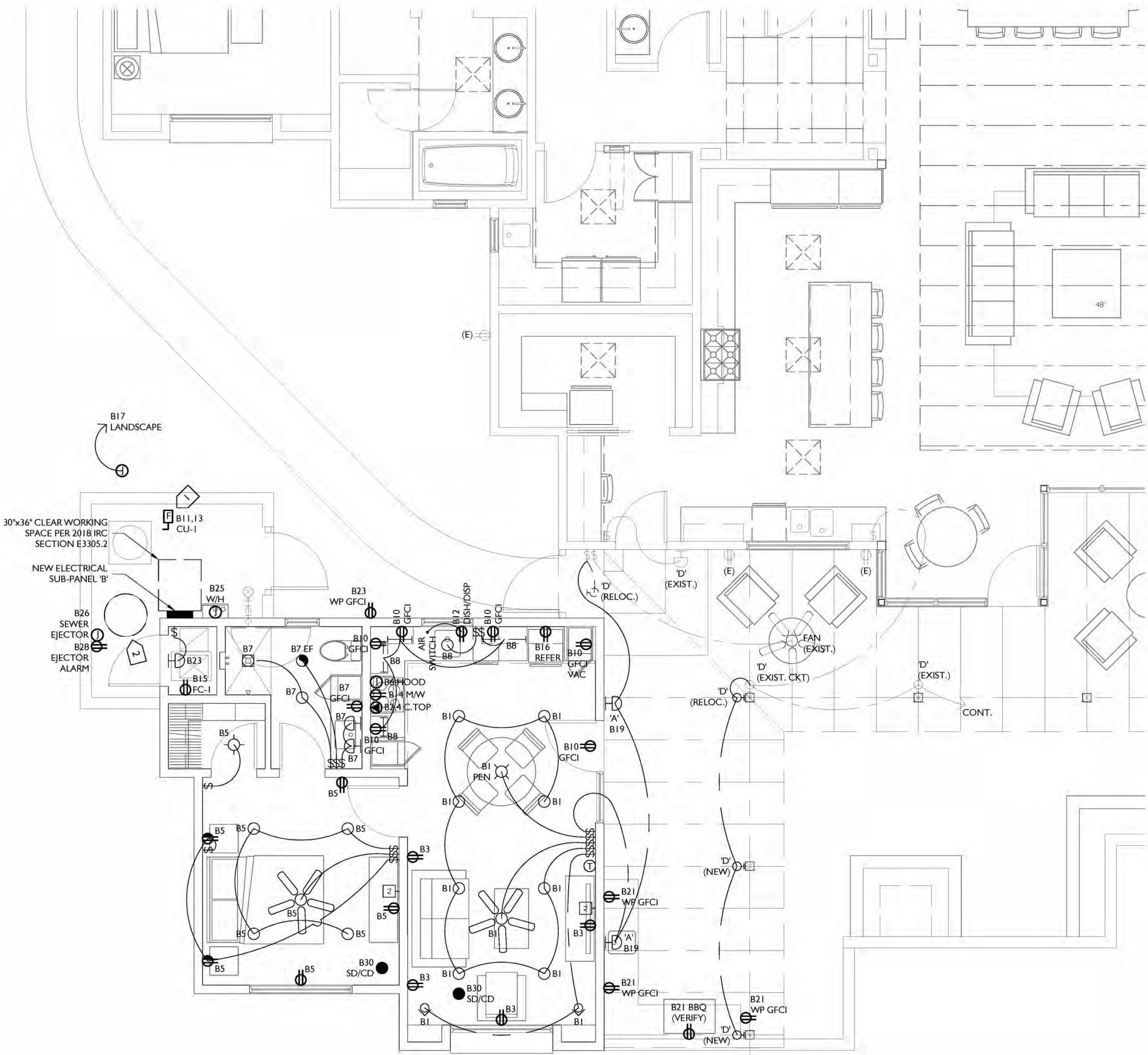
EXHAUST FAN	SMOKE / CARBON DETECTOR
CEILING LIGHT	JUNCTION BOX
WALL SCONCE	GARAGE DOOR OPENER
RECESSED CANLIGHT	DOOR BELL
WATER PROOF CANLIGHT	CHIME
SPOT LIGHT DIRECTIONAL	SWITCH
UTILITY STRIP LIGHT	3-WAY SWITCH
SINGLE FLOOD LIGHT	4-WAY SWITCH
DOUBLE FLOOD LIGHT	DIMMER SWITCH
1/2 HOT RECEPTACLE	PHONE JACK
DUPLEX RECEPTACLE	CEILING FAN
TELEVISION JACK	GFCI
SPECIAL RECEPTACLE	GROUND-FAULT CIRCUIT INTERRUPTER
FLOOR OUTLET	AFCI
TRANSFORMER	ARC-FAULT CIRCUIT INTERRUPTER
STEP LIGHT	WP
UNDER CABINET LIGHTS	PEN
THERMOSTAT	DL
	LV
	WATER PROOF
	PENDANT
	DAMP LOCATION
	LOW VOLTAGE

Keynotes:

- 20 A, 2 POLE, 240 V. FUSED NEMA 3R DISCONNECT SWITCH FUSED PER MANUFACTURERS REQUIREMENTS.
- 1/2 HP EJECTOR PUMP SYSTEM WITH (2) DEDICATED ELECTRICAL CIRCUITS FOR SYSTEM AND OVERFLOW ALARM - COORDINATE ALL REQUIREMENTS.

Additional Project Notes:

- PROVIDE DIMMERS AT ALL CEILING LIGHTS.
- PROVIDE UNDER / OVER CABINET LIGHTING AT KITCHEN. COORDINATE REQUIREMENTS.
- ALL CEILING FANS TO HAVE REMOTE CONTROL.
- EXTERIOR BUILDING AND LANDSCAPE LIGHTING SHALL COMPLY WITH APPLICABLE PIMA COUNTY LIGHTING ORDINANCE(S) / OUTDOOR LIGHTING CODE(S).



NORTH
ELECTRICAL PLAN
SCALE 1/4" = 1'-0"

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ELECTRICAL PLAN

GARIGAN RESIDENCE
GUEST HOUSE
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Tucson, Arizona 85718

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