

# LOPEZ RESIDENCE

3120 E CREST SHADOWS DRIVE  
PIMA COUNTY, AZ



## GENERAL NOTES & CONDITIONS

- STRUCTURE:**
- TYPICAL EXTERIOR WALL CONSTRUCTION TO BE 2x WOOD STUDS @ 16" O.C. W/ BATT INSULATION. APPROVED STUCCO SYSTEM ON WIRE LATH OVER 1" T&G RIGID INSULATION ON WEATHER-RESISTIVE BARRIER (TYVEK HOME WRAP OR EQUAL). TYPICAL INTERIOR BEARING WALL CONSTRUCTION TO BE 2x WOOD STUDS @ 16" O.C. W/ 1/2" GYPSUM BOARD EACH SIDE (U.N.O. PER SHEARWALL REQUIREMENTS). TYPICAL INTERIOR NON-BEARING WALL CONSTRUCTION TO BE 2x WOOD STUDS @ 24" O.C. W/ 1/2" GYPSUM BOARD EACH SIDE (U.N.O. PER SHEARWALL REQUIREMENTS).
  - SHEAR ALL EXTERIOR WALLS PER STRUCTURAL REQUIREMENTS.
  - SHEATH ALL EXTERIOR WALLS W/ 1/2" O.S.B. (U.N.O. PER SHEARWALL REQUIREMENTS)
  - LUMBER VALUES: SEE STRUCTURAL SHEETS.
  - GARAGE SHALL BE SEPARATED FOR FIRE-RESISTIVE CONSTRUCTION PER TABLE R302.6:
    - FROM RESIDENCE & ATTIC AREA: 1/2" GYPSUM BOARD APPLIED TO GARAGE SIDE
    - FROM HABITABLE ROOMS ABOVE GARAGE: 5/8" TYPE "X" GYPSUM BOARD APPLIED TO GARAGE SIDE.
  - OPENINGS BETWEEN GARAGE & RESIDENCE SHALL BE EQUIPPED WITH SOLID WOOD DOORS NOT LESS THAN 1-3/8" IN THICKNESS, SOLID OR HONEYCOMB CORE STEEL DOORS NOT LESS THAN 1-3/8" THICK, OR 20 MIN. FIRE RATED DOORS. A CLOSER CAPABLE OF SHUTTING & LATCHING THE DOOR WHEN OPENED 12 INCHES SHALL BE INSTALLED ON ALL DOORS OPENING INTO HABITABLE AREAS.
  - FIRE BLOCKING IN WOOD FRAMING SHALL BE INSTALLED PER IRC 302.11.
- FINISHES:**
- PROVIDE SQUARE CORNERS AT ALL EXTERIOR STUCCO WALLS & OPENINGS UNLESS NOTED OTHERWISE.
  - INTERIOR GYPSUM BOARD WALL FINISH SHALL BE LIGHT HAWK & TROWEL TEXTURE WITH SQUARE CORNERS.
  - PROVIDE WOOD BASE THROUGHOUT (PAINT-GRADE) UNLESS NOTED OTHERWISE.
- BATHROOMS:**
- TUBS & SHOWER ENCLOSURES SHALL BE FINISHED WITH CEMENT, FIBER-CEMENT, OR GLASS MAT GYPSUM BACKER PER R702.4.2 & CERAMIC TILE OR EQUAL TO A HEIGHT OF 6'-0" ABOVE FLOOR PER IRC R307.2 - SEE SEPARATE KITCHEN & BATH DESIGN FOR EXACT HEIGHT.
  - SHOWER ENCLOSURES SHALL HAVE A MINIMUM FINISHED INTERIOR OF 1.124 SQUARE INCHES & SHALL BE CAPABLE OF ENCOMPASSING A MINIMUM OF 30" CIRCLE. ALL GLASS ENCLOSURES SHALL BE TEMPERED, INCLUDING WINDOWS WITHIN SHOWER.
  - ALL WATER CLOSETS SHALL HAVE A CLEAR SPACE NOT LESS THAN 15" WIDE MEASURED FROM CENTERLINE OF WATER CLOSET & A CLEAR SPACE IN FRONT NOT LESS THAN 21" PER IRC R307.1.
- FIREPLACES:**
- APPROVED ZERO-CLEARANCE FIREPLACE PER IRC SECTIONS R1004, R1005, R1006. UNIT SHALL COMPLY WITH UL 127 TESTING AGENCY. FIREPLACE TO BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS, MANUFACTURER, MODEL, & I.C.C. & REPORT WILL BE POSTED AT JOB SITE & WILL BE AVAILABLE TO INSPECTOR WHEN UNIT IS CHOSEN.
  - PREP DISTANCE FROM FIREPLACE OPENING TO COMBUSTIBLE WALLS SHALL CONFORM TO THE I.C.C. N.E.R. REPORT.
  - HEARTH EXTENSIONS: DECORATIVE NON-COMBUSTIBLE MATERIAL SHALL BE INSTALLED OVER A THERMAL RESISTIVE BARRIER WHICH COMPLIES WITH THE EVALUATION REPORT & MANUFACTURER'S WRITTEN INSTALLATION MANUAL.
- WINDOWS & DOORS:**
- SAFETY GLASS SHALL BE INSTALLED AT ALL HAZARDOUS LOCATIONS PER R308.4.
  - SKYLIGHTS TO BE APPROVED DOUBLE-DOMED.
  - SAFETY GLAZING REQ'D. FOR ALL WINDOWS WITHIN A 24 INCH ARC OF EITHER VERTICAL EDGE OF A DOOR.
  - SAFETY GLAZING REQ'D. IN SHOWER WINDOWS LESS THAN 80 INCHES ABOVE DRAIN.
- ESCAPE OR RESCUE WINDOWS SHALL HAVE A MIN. NET CLEAR OPENABLE AREA OF 5.7 SQ. FT. MIN. WIDTH = 20 INCHES, MIN. HEIGHT = 24 INCHES, WINDOW SILL HEIGHT = MAX 44 INCHES.**
- SLEEPING ROOMS SHALL HAVE EMERGENCY ESCAPE & RESCUE OPENINGS PER IRC R310.**
- DOUBLE KEYED DEAD BOLTS NOT PERMITTED ON REQ'D. EXITS OR EMERGENCY ESCAPE ROUTES**
- MISCELLANEOUS:**
- ALL APPLIANCES INSTALLED IN GARAGE SHALL BE MOUNTED ON A PLATFORM AT LEAST 18" ABOVE FLOOR.
  - PRE-WIRE ALL EXTERIOR OPENINGS FOR SECURITY SYSTEM.
  - ALL HANDRAILS SHALL BE 34" - 38" IN HEIGHT MEASURED VERTICALLY FROM THE NOSING OF THE TREADS & SHALL BE PROVIDED ON AT LEAST ONE SIDE OF THE STAIRS PER IRC R311.7.8
  - HABITABLE ROOMS SHALL BE PROVIDED WITH AN AGGREGATE GLAZING AREA NOT LESS THAN 8% THE MIN. OPENABLE AREA TO THE OUTDOORS SHALL BE 4% OF THE FLOOR AREA BEING VENTILATED PER IRC R303.1 & R303.2.
  - SLOPE ALL PATIOS AWAY FROM RESIDENCE PER R401.3.
  - BURNERS, SWITCHES, ETC. MUST BE 18" MIN. ABOVE GARAGE FLOOR. (ELECT. OR GAS APPLIANCES).
  - ALL DUCTWORK IN THE GARAGE MUST BE A MIN. OF 26 GA.
  - SMOKE DETECTORS SHALL RECEIVE THEIR PRIMARY POWER FROM THE BUILDING WIRING & BE EQUIPPED WITH BATTERY BACK-UP. DETECTORS SHALL SOUND AN ALARM AUDIBLE IN ALL SLEEPING AREAS OF THE DWELLING UNIT IN WHICH THEY ARE LOCATED. (SMOKE DETECTORS SHALL BE INTERCONNECTED.)
  - DRYER VENT INSTALLATION SHALL COMPLY WITH IRC M1502.
  - PROVIDE SOUND BATT INSULATION IN ALL WALLS AROUND LAUNDRY ROOM. ALL BATHROOMS, BURNING AREAS, MASTER SUITE & ANY BEDROOM WALLS ADJACENT TO LIVING OR KITCHEN AREAS.
  - ALL INSULATION TO BE ATTACHED TO UNDERSIDE OF ROOF DECK.
- FACTORY MADE PRODUCTS OR MANUFACTURED SYSTEMS SHALL BE APPROVED BY ONE OF THE RECOGNIZED TESTING/APPROVAL AGENCIES.**
- PRODUCT APPROVAL NUMBERS &/OR REPORTS SHALL KEPT ON JOB SITE & BE MADE AVAILABLE UPON REQUEST.**
- GENERAL CONDITIONS:** IF THERE ARE ANY DISCREPANCIES WITH THIS SET OF PLANS, IF ARCHITECT IS NOT NOTIFIED THEN CONTRACTOR, OR SUBCONTRACTOR SHALL ASSUME ALL RESPONSIBILITY.
- SCOPE: THE CONTRACTOR SHALL PROVIDE ITEMS, ARTICLES, MATERIALS OPERATIONS OR METHODS LISTED, MENTIONED OR SCHEDULED ON THE DRAWINGS & OR HEREIN, INCLUDING LABOR, MATERIALS, EQUIPMENT & INCIDENTALS NECESSARY & REQUIRED FOR THEIR COMPLETION.
  - CODES: WORK SHALL CONFORM TO THE REQUIREMENTS OF ALL LOCAL, MUNICIPAL, STATE & NATIONAL CODES & ORDINANCES AS ADAPTED, WITH AMENDMENTS IN EFFECT AT THE TIME & PLACE OF CONSTRUCTION.
  - SCALE: DO NOT SCALE DRAWINGS. USE WRITTEN DIMENSIONS, WHERE NO DIMENSION IS PROVIDED, CONSULT WITH ARCHITECT BEFORE PROCEEDING WITH THE WORK.
  - WHERE NO SPECIFIC DETAILS ARE SHOWN, CONSTRUCTION SHALL CONFORM TO SIMILAR WORK ON THE PROJECT OR CONSULT ARCHITECT FOR DIRECTION.
- DISCREPANCIES:** WHERE DISCREPANCIES OCCUR BETWEEN PLANS, DETAILS, GENERAL NOTES, SPECIFICATIONS & ALL APPLICABLE CODES, THE MOST STRINGENT REQUIREMENT SHALL GOVERN. OMISSIONS OR CONFLICTS BETWEEN VARIOUS ELEMENTS OF THE DRAWINGS, NOTES, DETAILS OR SPECIFICATIONS SHALL BE BROUGHT TO THE ATTENTION OF ARCHITECT BEFORE PROCEEDING WITH THE WORK.
- VERIFICATION:** CONTRACTOR SHALL VERIFY DIMENSIONS & CONDITIONS AT JOB SITE & REPORT ANY DISCREPANCIES TO ARCHITECT BEFORE COMMENCING WITH THE WORK.
- PROTECTION:** WORK SHALL BE ADEQUATELY PROTECTED THROUGHOUT DURATION OF THE CONTRACT. REPAIR & / OR REPLACE ANY WORK OR MATERIALS THAT ARE BROKEN, CHIPPED, CRACKED, ABRASSED OR DAMAGED IN ANY OTHER WAY, DURING CONSTRUCTION INCLUDING NATURAL CAUSES & VANDALISM, AT NO LOSS TO THE OWNER.
- WORKMANSHIP:** WHERE NOT MORE SPECIFICALLY DESCRIBED IN ANY OF THE VARIOUS SECTIONS OF THESE SPECIFICATIONS, WORKMANSHIP SHALL CONFORM TO THE METHODS & OPERATIONS OF BEST STANDARDS & ACCEPTED PRACTICES OF THE RESPECTIVE TRADE.
- WARRANTY:** ALL WORKMANSHIP & MATERIAL SHALL BE FULLY GUARANTEED FOR A MINIMUM PERIOD OF ONE YEAR FROM THE TIME OF SUBSTANTIAL COMPLETION & ACCEPTANCE BY THE OWNER. SUBMIT ALL WARRANTIES, INSTRUCTIONS, OPERATION MANUALS, ETC. TO THE OWNER BEFORE FINAL PAYMENT.
- WATERTIGHT - WEATHER TIGHT:** ANYTHING IN THE CONTRACT DOCUMENTS NOT WITHSTANDING THE CONTRACTOR IS RESPONSIBLE FOR CONSTRUCTING A WATERTIGHT, WEATHER TIGHT PROJECT.
- BUILT-IN ITEMS:** ESTABLISH & VERIFY THE SIZE & LOCATION OF BLOCK OUTS, INSERTS, OPENINGS, CURBS, BASES & FADS FOR ARCHITECTURAL, MECHANICAL, ELECTRICAL & PLUMBING WITH APPROPRIATE TRADES, DRAWINGS & SUBCONTRACTORS PRIOR TO CONSTRUCTION.
- CONSTRUCTION LOADS:** CONSTRUCTION MATERIAL SHALL BE SPREAD OUT IF PLACED ON FRAMED FLOORS OR ROOF. LOAD SHALL NOT EXCEED THE DESIGN LIVE LOAD PER SQUARE FOOT.
- ARCHITECTURAL & ENGINEERING SERVICES:** NORMAL ARCHITECTURAL & ENGINEERING SERVICES, CURBS, BASES & FADS FOR ARCHITECTURAL, MECHANICAL, ELECTRICAL & PLUMBING WITH APPROPRIATE TRADES, DRAWINGS & SUBCONTRACTORS PRIOR TO CONSTRUCTION. SHOULD ANY SERVICES OF ARCHITECT BE REQUIRED TO ASSIST IN THE CORRECTIONS OF ERRORS OR OMISSIONS IN CONSTRUCTION BY THE CONTRACTOR, OR SERVICES OF ARCHITECT BE REQUIRED BECAUSE OF CHANGES IN STRUCTURE OR EQUIPMENT WHERE THE CONTRACTOR HAS REQUESTED APPROVAL OF SUBSTITUTE METHODS OR MATERIALS, THESE SERVICES WILL BE PROVIDED BY ARCHITECT AT THEIR STANDARD HOURLY RATES, & SHALL BE PAID FOR BY THE CONTRACTOR.
- AS-BUILT DRAWINGS:** ANY PHASES OF CONSTRUCTION THAT DIFFER FROM THE ORIGINAL APPROVED CONSTRUCTION DOCUMENTS SHALL BE RECORDED IN DETAIL IN RED ON A SPECIAL SET OF CONSTRUCTION SPECIFICALLY SET ASIDE FOR THIS USE & SHALL BE HELD BY GENERAL CONTRACTOR. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR PERFORMING THE WORK TO CAREFULLY & ACCURATELY LOG CHANGES DAILY, PRIOR TO & AS A CONDITION OF FINAL PAYMENT. PLUMBING, MECHANICAL & ELECTRICAL AS-BUILTS WITH ACCURATELY DRAWN CHANGES MUST BE COMPLETED & SUBMITTED TO ARCHITECT AS AN INTEGRAL PART OF JOB RECORDS.
- CLEAN UP:** DURING COURSE OF PROJECT, KEEP AREAS OF PROJECT FREE FROM ACCUMULATIONS OF WASTE & RUBBISH. AREAS OF WORK KEPT CLEAN AS SUITED TO REQUIREMENTS OF ITEMS BEING INSTALLED OR ITEMS BUILT WITHIN WORK. KEEP OFF-SITE PROPERTY, PUBLIC & PRIVATE, & ON-SITE PROPERTY BEYOND LIMITS OF WORK CLEAN OF CONSTRUCTION DROPPINGS & DEBRIS. WASTE OR RUBBISH INTENDED FOR DISPOSAL SUITABLY STORED TO PREVENT WIND DISPERSAL. TOOLS, SHEDS OR OTHER ITEMS NO LONGER IN USE REMOVED. EXISTING CONDITIONS RESTORED, WHERE AFFECTED, TO ORIGINAL CONDITION PRIOR TO CONSTRUCTION.
- FINAL CLEANING:** FINISH SURFACES & AREAS CLEAN & FIT FOR OCCUPANCY. INTERIORS & GROUNDS, FREE FROM DEBRIS, TEMPORARY OR CONSTRUCTION ITEMS, & OTHER UNSIGHTLY MATERIALS.
- TEST STANDARDS:** WHERE REFERENCE IS MADE TO VARIOUS TEST STANDARDS FOR MATERIALS, SUCH STANDARDS SHALL BE THE LATEST EDITION & / OR ADDENDA
- MISCELLANEOUS SITE STRUCTURES:** SWIMMING POOLS, SPAS, FENCES, & GAS STORAGE TANKS, NOT SPECIFICALLY SHOWN ON THE DRAWINGS REQUIRE SEPARATE PERMITS.
- PROPERTY ADDRESS:** SHALL BE POSITIONED AS TO BE PLAINLY VISIBLE & LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY, PER IRC R319.1.

## LEGAL INFORMATION

LOT 29 CATALINA RIDGE ESTATES (COBBLESTONE)  
BOOK 30, PAGE 83 OF MAPS AND PLATS,  
SECTION 33, TOWNSHIP 12S, RANGE 14E  
& 8SRM, PIMA COUNTY, ARIZONA

ASSESSOR'S # 220-25-0410

## PROJECT ADDRESS

3120 E CREST SHADOWS DRIVE  
TUCSON, AZ 85718

## OWNER

LOPEZ HS FAMILY TRUST  
3901 E BROADWAY BLVD  
TUCSON, AZ 85711

## CODES

ALL PLANS SHALL COMPLY WITH:  
2018 INTERNATIONAL RESIDENTIAL CODE  
LOCAL AMENDMENTS

## SURVEYOR

PRECISION LAND SURVEYING, INC.  
8219 E 22ND STREET  
TUCSON, AZ 85710  
(520) 298-3200

## MECHANICAL

COMFORT GEEKS, LLC  
120 S. HOUGHTON RD, SUITE 138-170  
TUCSON, AZ 85748  
(520) 955-1256

## STRUCTURAL

ASIW ENGINEERING, PLLC  
810 W. CALLE RANJUNCULO  
TUCSON, AZ 85704  
(520) 404-5155

## GEOTECHNICAL

BRAZOS GEOTECH, INC  
11508 N. LONE MOUNTAIN PLACE  
TUCSON, AZ 85737  
(520) 237-0750



## AREA CALCULATIONS

LIVABLE	
LOWER LEVEL	1044 SF
MAIN LEVEL	8751 SF
TOTAL LIVABLE	
9795 SF	
NON-LIVABLE	
COVERED PATIOS & OVERHANGS	2589 SF
GARAGE	8340 SF
MECHANICAL	404 SF
TOTAL NON-LIVABLE	
11333 SF	
TOTAL UNDER ROOF	
21128 SF	

## SHEET INDEX

1	1.1	COVER
2	1.2	3D IMAGES
3	1.3	3D IMAGES (CONT.)
4	2.1	SURVEY
5	2.2	SITE GRADING & CENTROID PLANS
6	3.1	DEMO PLAN
7	3.2	FLOOR PLAN - MAIN LEVEL
8	3.3	FLOOR PLAN - LOWER LEVEL
9	4.1	ELEVATIONS
10	4.2	ELEVATIONS (CONT.)
11	5.1	ROOF PLAN
12	6.1	SECTIONS (A thru F)
13	6.2	SECTIONS (G thru J)
14	6.3	SECTIONS (K thru N)

## DEFERRED SUBMITTALS (HANDLED BY BUILDER)

-NONE

## SPECIAL INSPECTIONS (PER STRUCTURAL ENG.)

-TBD

## PIMA COUNTY INCLUSIVE HOME DESIGN REQUIREMENTS

- PROVIDE AT LEAST ONE EXTERIOR ACCESSIBLE ROUTE & ENTRANCE. THE ROUTE MAY ORIGINATE FROM THE CARPORT, DRIVEWAY, PUBLIC STREET OR SIDEWALK. THE SLOPE OF THIS ROUTE SHALL NOT EXCEED ONE-FOOT VERTICAL RISE PER TWENTY FEET HORIZONTAL DISTANCE (1:20). UNLESS A RAMP PER 2018 IRC IS CONSTRUCTED.  
**NOTE:** INDICATE THE EXTERIOR ACCESSIBLE ROUTE & ACCESSIBLE ENTRANCE ON SINGLE FAMILY RESIDENCE SITE PLAN (NOT A REQUIREMENT ON MODEL PLANS).
  - ACCESSIBLE ENTRANCE: PROVIDE MINIMUM ONE NO-STEP LEVEL ENTRANCE THAT IS A MINIMUM 32" WIDE & MEETS THE DOOR HARDWARE REQUIREMENTS PER THIS ORDINANCE. NOTE: EXIT DOORS ARE REQUIRED TO BE 36" MINIMUM & THE GARAGE SHALL NOT BE USED AS AN EXIT. THE ACCESS FLOOR SHALL HAVE A MINIMUM 36" WIDE HALLWAY & ACCESSIBLE DOORS TO ALL SPACES & ELEMENTS WITH A MINIMUM 2'-8" DOOR.  
**NOTE:** ALL DOORS, HALLWAY & OPENINGS TO BE CLEARLY DIMENSIONED & INDICATED ON FLOOR PLAN.
  - CHANGE IN FLOOR LEVELS & THRESHOLDS AT THE ACCESSIBLE ENTRANCE & ALONG ACCESSIBLE ROUTES MAY BE 1/2" HIGH MAXIMUM. THIS MUST BE LEVELED FROM 1/4" TO 1/2" MAXIMUM WITH A SLOPE NOT STEEPER THAN 1 INCH RISE IN 2 INCH RUN (1:2).
  - DOOR HARDWARE: HANDLES, PULL LATCHES, LOCKS & OTHER OPERABLE PARTS ON ACCESSIBLE DOORS SHALL HAVE A SHAPE THAT IS EASY TO GRASP WITH ONE HAND & THAT DOES NOT REQUIRE TIGHT GRASPING, PINCHING OR TWISTING OF THE WRIST TO OPERATE. LEVER HARDWARE SATISFIES THE REQUIREMENTS OF THIS PROVISION.
  - BATHROOM WALL REINFORCEMENT: IN ALL BATHROOMS ON THE ACCESSIBLE ROUTE, REINFORCEMENT SHALL BE INSTALLED TO ALLOW THE FUTURE INSTALLATION OF GRAB BARS ON WALL ADJACENT TO THE TUB & TOILET. IN ADDITION, REINFORCEMENT SHALL BE INSTALLED IN SHOWER COMPARTMENTS FOR FUTURE INSTALLATION OF GRAB BARS. THIS REINFORCEMENT SHALL BE INSTALLED FLUSH WITH THE STUDS & AT THE FOLLOWING LOCATIONS:  
**NOTE:** MINIMUM 1 BATHROOM REQUIRED ON THE ACCESSIBLE FLOOR (WATER CLOSET, LAVATORY & BATH/TUB OR SHOWER).  
TOILET: 33"-36" ABOVE THE FLOOR ON ALL ADJACENT WALLS. HORIZONTAL LENGTH OF REINFORCEMENT SHALL BE SUFFICIENT TO ALLOW A 42" GRAB BAR & 24" REAR GRAB BAR.  
**NOTE:** NOTHING IN THE ORDINANCE REQUIRES THAT TOILET BE PLACED BY A SIDEWALL.  
TUB: HORIZONTAL LENGTH REINFORCEMENT SHALL BE SUFFICIENT TO ALLOW FOR:  
a) BACK WALL, TWO BACKING REINFORCEMENTS. ONE BACKING REINFORCEMENT HORIZONTAL POSITION 53" MINIMUM & 36" MAXIMUM ABOVE THE FLOOR, & ONE BACKING REINFORCEMENT 9" ABOVE THE RIM OF THE BATHTUB. EACH BACKING REINFORCEMENT SHALL BE 24" LONG MINIMUM & SHALL BE 24" MAXIMUM FROM THE HEAD END WALL & 12" MAXIMUM FROM THE FOOT END WALL.  
b) FOOT END WALL. ONE BACKING REINFORCEMENT 24" LONG MINIMUM ON THE FOOT END WALL AT THE FRONT EDGE OF THE BATHTUB.  
c) HEAD END WALL. ONE BACKING REINFORCEMENT 12" LONG MINIMUM ON THE HEAD END WALL AT THE FRONT EDGE OF THE BATHTUB.  
d) SHOWER COMPARTMENTS SHALL HAVE A MINIMUM OF TWO WALLS NOT TO INCLUDE CONTROL VALVE WALL MOUNTED AT 33"-36" ABOVE SHOWER FLOOR.
- ALL WALL REINFORCEMENT SHALL BE CAPABLE OF RESISTING SHEAR & BENDING FORCES OF A MINIMUM OF 250 POUNDS. REINFORCEMENT IS NOT REQUIRED AT THE LOCATION OF VANITIES, LINEN CLOSETS, & PRE-MOLDED SHOWER/TUB SURROUNDINGS, OR IN A ROOM CONTAINING ONLY A SINK & A TOILET ON THE ACCESSIBLE FLOOR OF THE HOME.
- ELECTRICAL:** ALL LIGHT CONTROLS SHALL BE PLACED NO HIGHER THAN 48" ON CENTER, ABOVE THE FLOOR, WHERE PRACTICAL. ALL ELECTRICAL RECEPTACLES SHALL BE PLACED NO LOWER THAN 15" ON CENTER, ABOVE THE FLOOR. ALL THERMOSTATS SHALL BE PLACED NO HIGHER THAN 54" ON CENTER, ABOVE THE FLOOR.
- THE EXCEPTIONS TO THESE PROVISIONS ARE AS FOLLOWS:
- ELECTRICAL RECEPTACLES SERVING A DEDICATED USE.
  - APPLIANCE MOUNTED CONTROLS OR SWITCHES.
  - A SINGLE OUTLET WHERE ALL OF THE FOLLOWING CONDITIONS ARE MET:
    - THE OUTLET IS ABOVE A LENGTH OF COUNTERTOP THAT IS UNINTERRUPTED BY A SINK OR APPLIANCE &
    - AT LEAST ONE RECEPTACLE IS PROVIDED FOR THAT LENGTH OF COUNTERTOP, &
    - ALL OTHER RECEPTACLES PROVIDED FOR THAT LENGTH OF COUNTERTOP SET NO HIGHER THAN 48".
  - FLOOR RECEPTACLE OUTLETS.
  - PLUMBING FIXTURE CONTROLS.
  - HVAC DIFFUSERS
  - CEILING FAN MOUNTED CONTROLS.

**LOPEZ RESIDENCE**

3120 E CREST SHADOWS DRIVE  
PIMA COUNTY, AZ

**SOLOWAY**  
**DESIGNS INC**  
ARCHITECTURE + INTERIORS

7230 N. La Canada Drive  
Tucson, Arizona 85704  
520.219.6302  
www.soloway-designs.com



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COVER

DATE 10/02/24  
DWN JEL  
CHK M.A.S.  
JOB# S23-1151

1.1



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3D IMAGES

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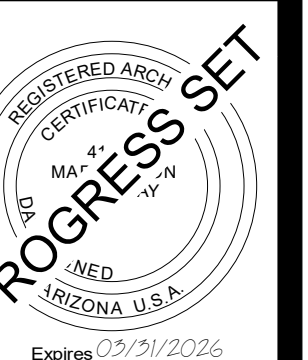


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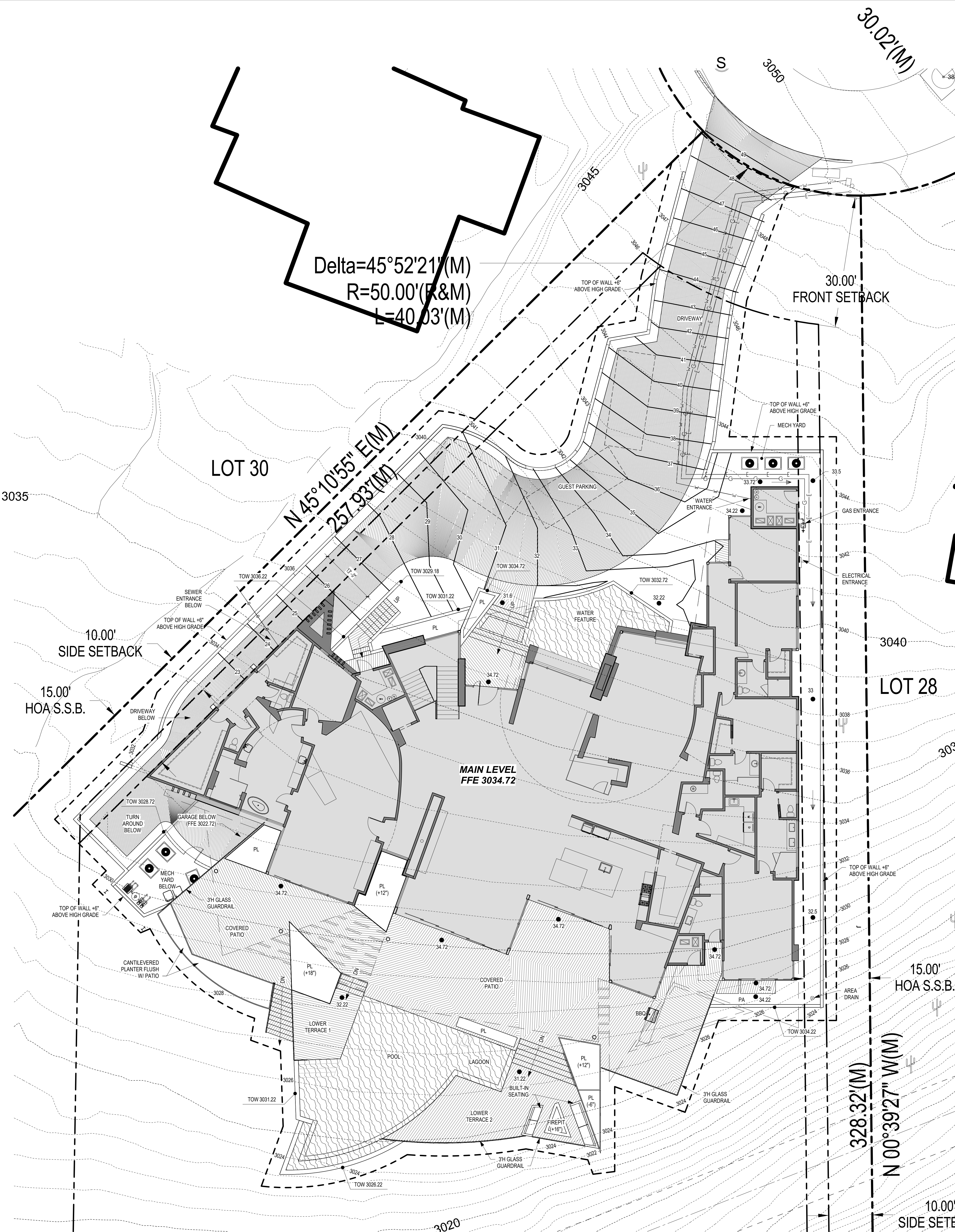
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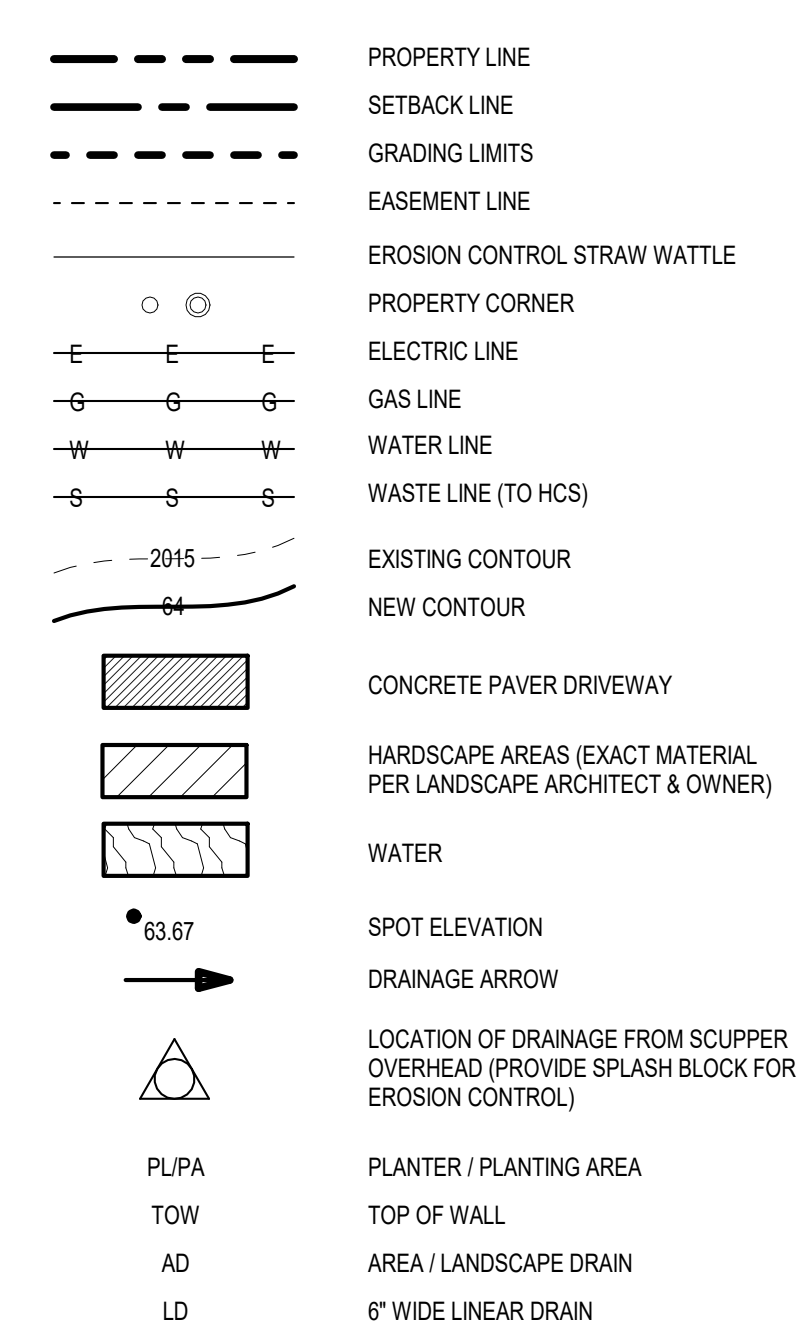
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**LEGEND**



**OWNER**

LOPEZ HS FAMILY TRUST  
3901 E BROADWAY BLVD  
TUCSON, AZ 85711

**LEGAL INFORMATION**

3120 E CREST SHADOWS DRIVE  
TUCSON, AZ 85718  
LOT 29 CATALINA RIDGE ESTATES (COBBLESTONE)  
BOOK 30, PAGE 83 OF MAPS AND PLATS,  
SECTION 33, TOWNSHIP 12S, RANGE 14E  
GASRM, PIMA COUNTY, ARIZONA  
ASSESSOR'S #220-25-0410

**ZONING & HOA INFORMATION**

ZONE: OR-1  
MAX. BUILDING HEIGHT: 34' FROM LOWEST AFFECTED GRADE (HDZ)  
SETBACKS: FRONT 30', SIDE 10', REAR 40'  
HOA:  
MAX. BUILDING HEIGHT: 15' FROM ANTI GRADE OF CENTROID  
SETBACKS: FRONT 30', SIDE 15', REAR 40'

GENERAL CALCULATIONS	
GROSS AREA =	87,542 SQ. FT. (2.01 AC.)
PER HDZ MAX GRADING ALLOWANCE (FIXED 17%) =	21,601 SQ. FT.
INCREASE: DRIVEWAY (PATH ONLY 260 LF x 12') =	3,120 SQ. FT.
MAX GRADING + INCREASE =	24,721 SQ. FT.
PROPOSED GRADING LIMITS =	24,433 SQ. FT.
SET ASIDE (NOS) =	26,263 SQ. FT. (30%)

**SITE PLAN NOTES**

1. 3034.72 IS EQUAL TO 100'-0" ON THE HOUSE PLANS & IS THE MAIN FINISHED FLOOR ELEVATION.
2. ALL FOOTINGS SHALL EXTEND 12" MIN. INTO NATURAL GRADE FOR SINGLE STORY. SEE SOILS REPORT.
3. CONTRACTOR SHALL VERIFY TOPOGRAPHY PRIOR TO CONSTRUCTION.
4. SLOPE ALL FINISHED GRADES AWAY FROM BUILDING MINIMUM OF 2%.
5. FOUNDATION CLEARANCE FROM SLOPES PER FIGURE R403.1.7.1
6. SITE IS TO BE GRADED WITH A CLOSE BALANCE BETWEEN CUT & FILL. DURING TIME OF GRADING, ALL SOIL THAT IS BEING EXCAVATED, STORED, OR REMOVED FROM SITE WILL HAVE WATER SPRAYED FOR APPROPRIATE DUST CONTROL MEASURES.

**GENERAL NOTES**

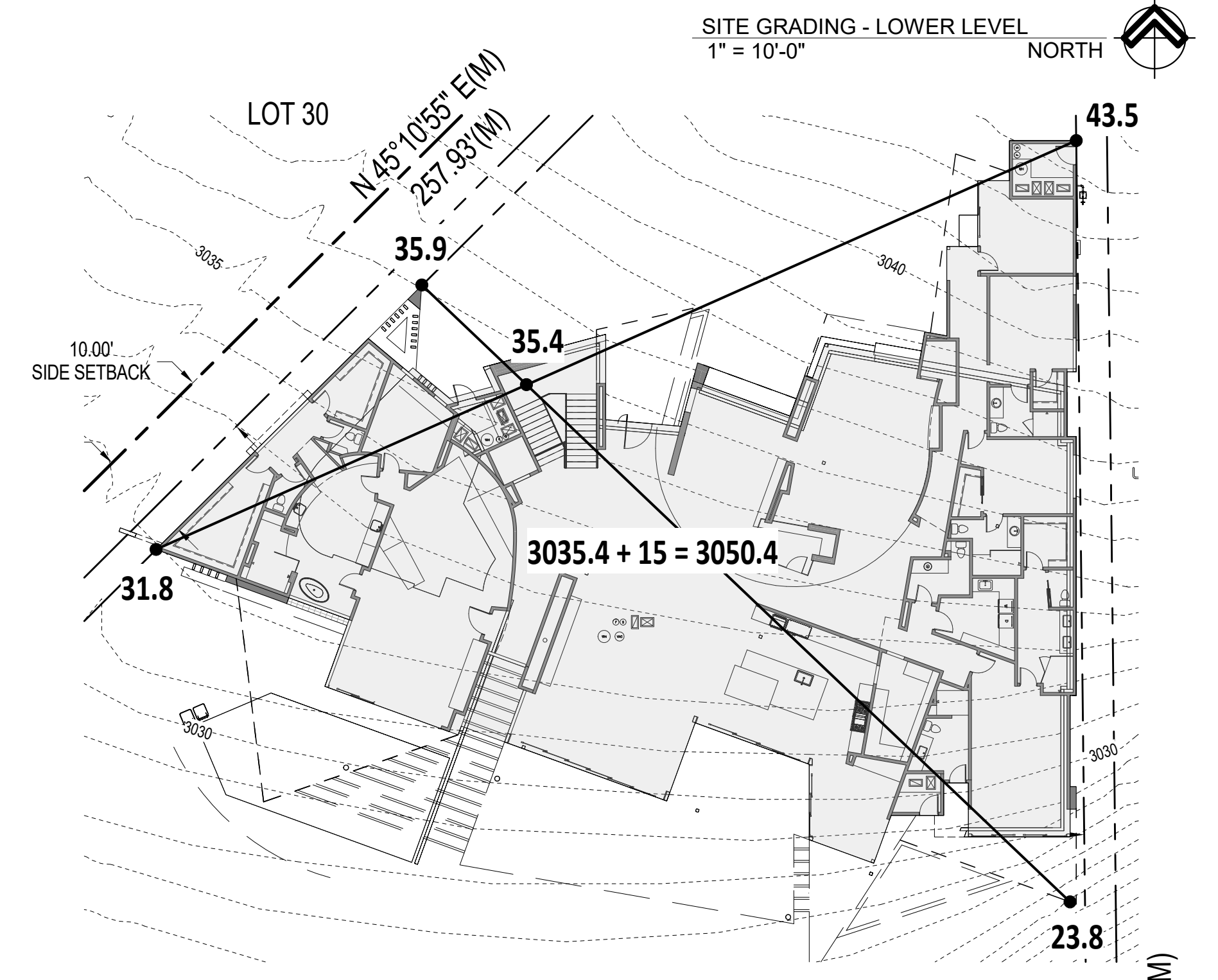
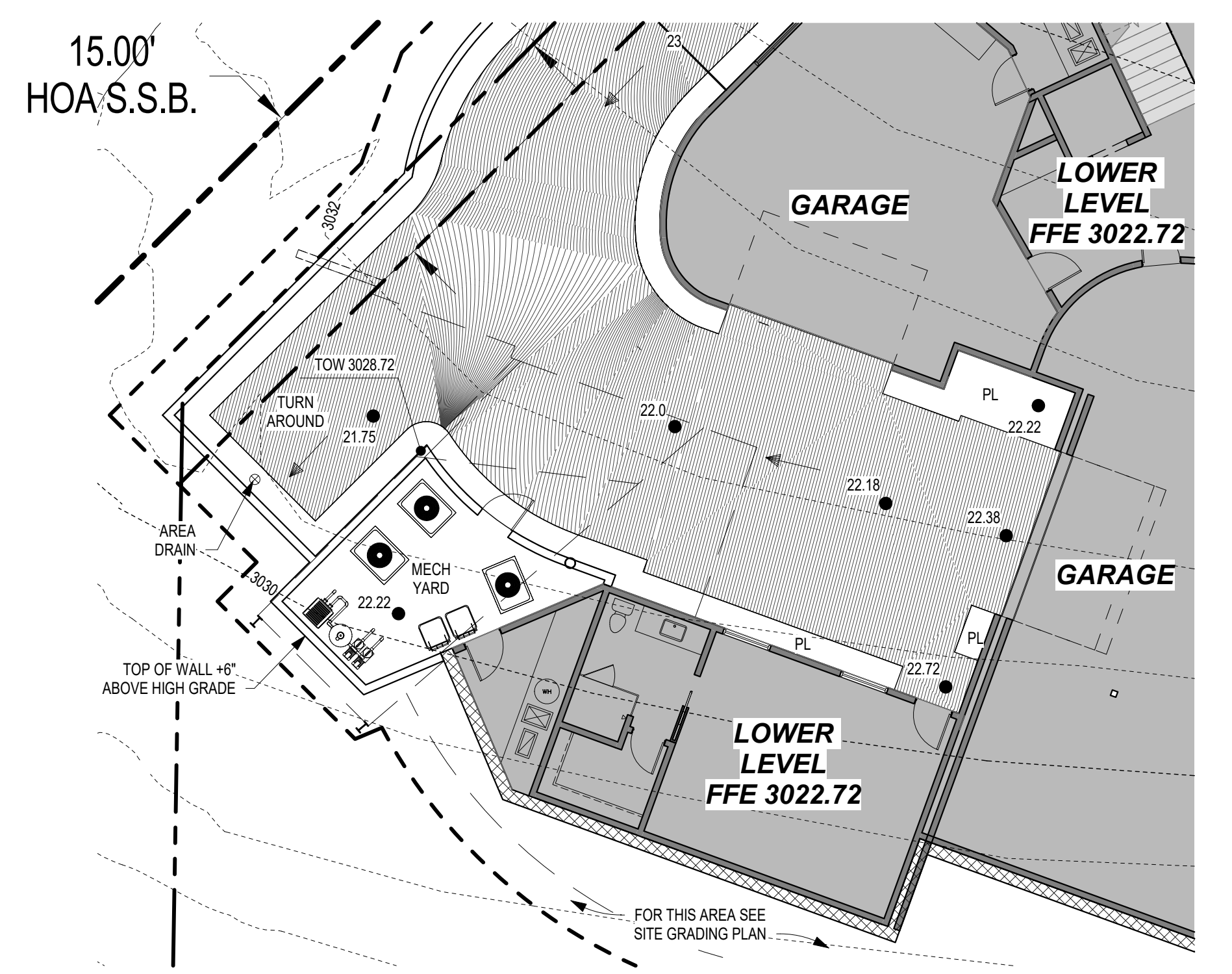
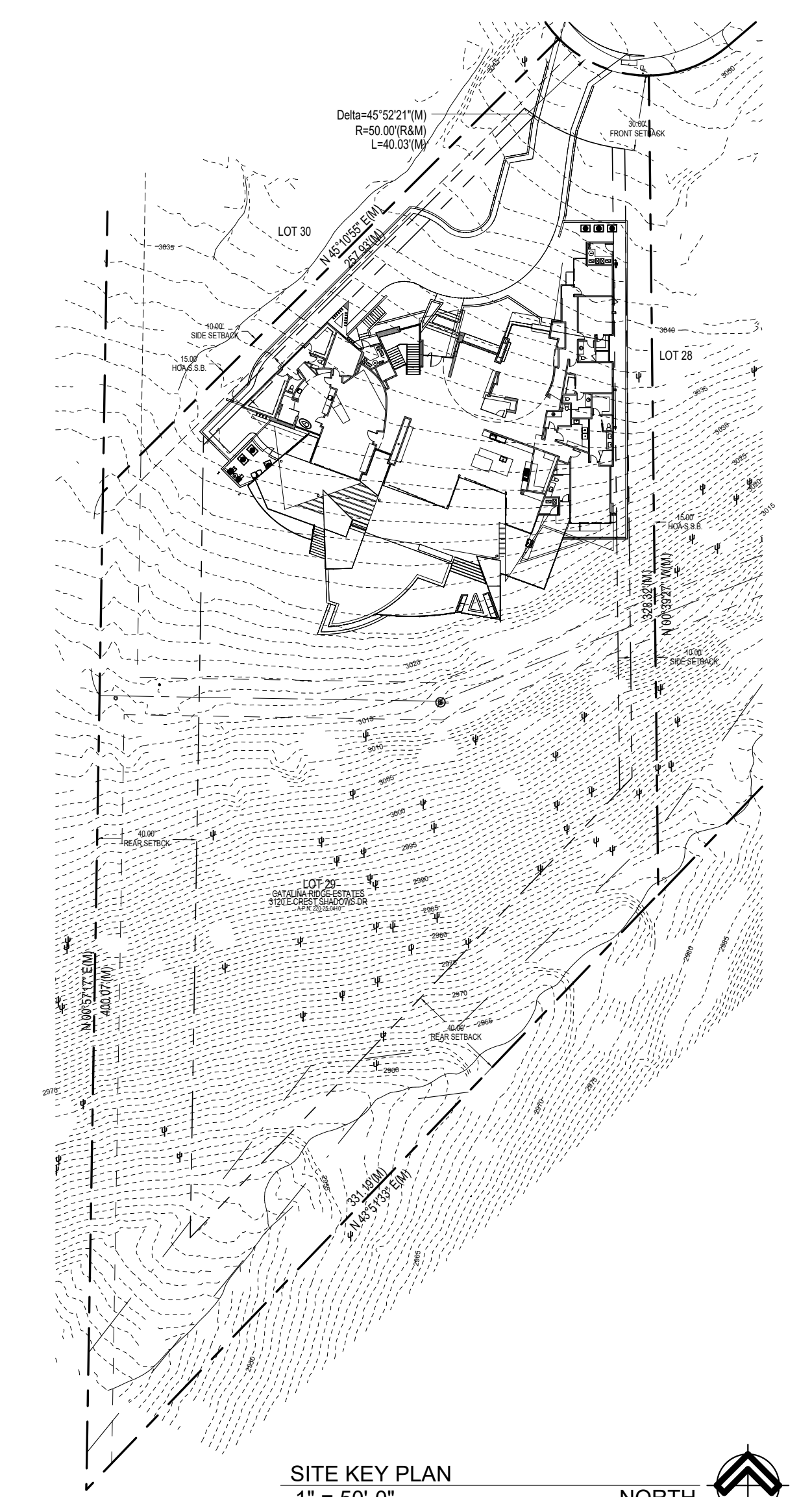
1. UNIMPROVED DISTURBED AREAS RESULTING FROM OPERATIONS ON THIS LOT SHALL BE RESTORED TO THEIR NATURAL STATE BY UTILIZING DROUGHT-RESISTANT VEGETATION. ALL UTILITY TRENCHES AND/OR LEACH FIELDS TO BE RESTORED TO THEIR ORIGINAL NATURAL CONDITIONS.
2. EXCESS SOIL GENERATED FROM EARTHWORK SHALL BE REMOVED FROM THE SITE AND LAWFULLY DISPOSED OF OR, IF ALLOWED, SITE MATERIAL MAY BE PLACED SO AS TO BECOME AN INTEGRAL PART OF THE SITE DEVELOPMENT, ALL IN ACCORDANCE WITH PIMA COUNTY REGULATIONS.
3. CUT AND FILL SLOPE TREATMENT SHALL BE IN COMPLIANCE WITH THE REQUIREMENTS OF THE ACCEPTED GEOTECHNICAL ENGINEERING INVESTIGATION OR THE PIMA COUNTY REQUIREMENTS.
4. THE CONTRACTOR IS RESPONSIBLE FOR ASSURING PROPER AND ADEQUATE DRAINAGE.
5. ELEVATION OF FINISH PAD SHALL BE CERTIFIED BY A REGISTERED LAND SURVEYOR PRIOR TO POURING FOUNDATIONS AS REQUIRED BY PIMA COUNTY.
6. PROVIDE COMPACTION REPORTS FOR THE FILL SIDE OF THE BUILDING PAD PRIOR TO INSPECTION.
7. THE CONTRACTOR IS RESPONSIBLE FOR CUT AND FILL REQUIREMENTS. CUT AND FILL CALCULATIONS PER THIS PLAN ARE FOR PERMITTING ONLY.

**GRADING REQUIREMENTS:**  
 a. CUT OR FILL 3:1 (HORIZONTAL:VERTICAL) OR LESS STEEP SHALL BE REVEGETATED.  
 b. CUT OR FILL SLOPES LESS THAN 2:1 BUT STEEPER THAN 3:1 SHALL BE ROCK RIP-RAPPED WITH FILTER FABRIC INSTALLED BENEATH THE ROCK.  
 c. CUT OR FILL SLOPES 2:1 OR STEEPER SHALL HAVE GROUTED RIP-RAP, EARTH RETAINING, OR RETAINING WALLS AS APPROPRIATE.  
 d. SLOPES LESS STEEP THAN 2:1 WILL BE GROUTED RIP-RAP IF THEY ARE CONTAINED IN AN EROSION HAZARD SETBACK AREA.

**EXCAVATION:**  
 PRIOR TO CONSTRUCTION IF ANY DISCREPANCIES ARE FOUND ON PLANS & DESIGNER IS NOT NOTIFIED, CONTRACTOR SHALL ASSUME ALL RESPONSIBILITY.

**UTILITY INFORMATION:**  
 1. WATER SERVICE IS 1-1/2" PEX LINE TO HOUSE PER PLUMBING PLAN.  
 2. WASTE LINE TO HOUSE SHALL BE 4" PVC.  
 3. GAS LINE IS SUPPLIED BY GAS COMPANY. SEE THEIR SPECS. FOR INFORMATION ON MATERIAL & SIZE.  
 4. ELECTRIC SERVICE LINE SHALL BE INSTALLED BY POWER COMPANY. CONTRACTOR TO PROVIDE TRENCH WITH CONDUIT AS REQUIRED.  
 5. UTILITY SERVICE LINES SHALL SHARE A TRENCH WHEREVER ROUTING ALLOWS.  
 6. BACKWASH VALVE REQUIRED PER PIMA COUNTY SEWER PLAN FOR SUBDIVISION.

NOTE: PROVIDE WEEP HOLES @ 10'-0" MAX. FOR ALL SITE WALLS.



SITE GRADING PLAN  
1" = 10'-0" NORTH

CENTROID CALCULATION  
1" = 20'-0" NORTH

**LOPEZ RESIDENCE**  
3120 E CREST SHADOWS DRIVE  
PIMA COUNTY, AZ

**SOLOWAY** INC  
**DESIGNS**  
ARCHITECTURE + INTERIORS

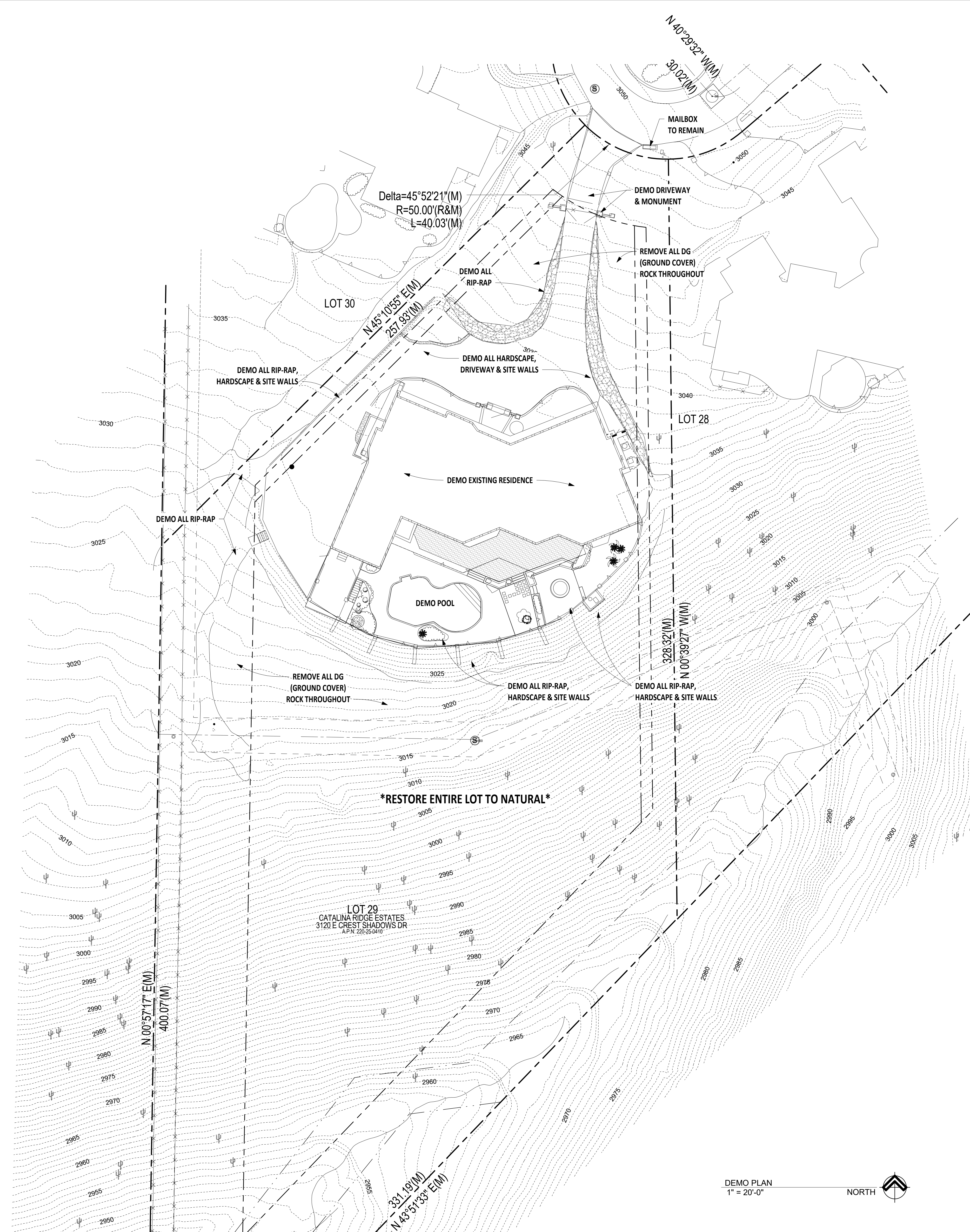
7230 N. La Canada Drive  
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520.219.6302  
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SITE GRADING & CENTROID PLANS

DATE 10/02/24  
DWN JEL  
CHK M.A.S.  
JOB# S23-1151

**2.2**



**SITE DEMO NOTES**

1. SECURE ALL UTILITIES PRIOR TO DEMOLITION.
2. PRIOR TO DEMOLISHING BUILDING, PIMA COUNTY INSPECTION REQUIRED TO VERIFY ALL UTILITIES (ELEC. FUEL, WATER, WASTE) CONNECTIONS HAVE BEEN DISCONNECTED & SECURED.
3. AFTER DEMOLITION IS COMPLETE, PIMA COUNTY INSPECTION REQUIRED TO VERIFY SITE IS LEFT IN A SAFE & CLEAN CONDITION.

DEMO PLAN  
1" = 20'-0"  
NORTH

**LOPEZ RESIDENCE**  
3120 E CREST SHADOWS DRIVE  
PIMA COUNTY, AZ

**SOLOWAY**  
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DEMO PLAN

DATE 10/02/24  
DWN JEL  
CHK M.A.S.  
JOB# S23-1151

**3.1**



**WALL SCHEDULE**

[Symbol]	WOOD STUD WALL
[Symbol]	WOOD STUD WALL W/ TILE
[Symbol]	MASONRY BLOCK WALL
[Symbol]	STRUCTURAL COLUMN

**AREA CALCULATIONS**

LIVABLE	
LOWER LEVEL	1044 SF
MAIN LEVEL	8751 SF
<b>TOTAL LIVABLE</b>	<b>9795 SF</b>
NON-LIVABLE	
COVERED PATIOS & OVERHANGS	2589 SF
GARAGE	8340 SF
MECHANICAL	404 SF
<b>TOTAL NON-LIVABLE</b>	<b>11333 SF</b>
<b>TOTAL UNDER ROOF</b>	<b>21128 SF</b>

MAIN LEVEL  
3/16" = 1'-0"  
NORTH

**LOPEZ RESIDENCE**  
3120 E CREST SHADOWS DRIVE  
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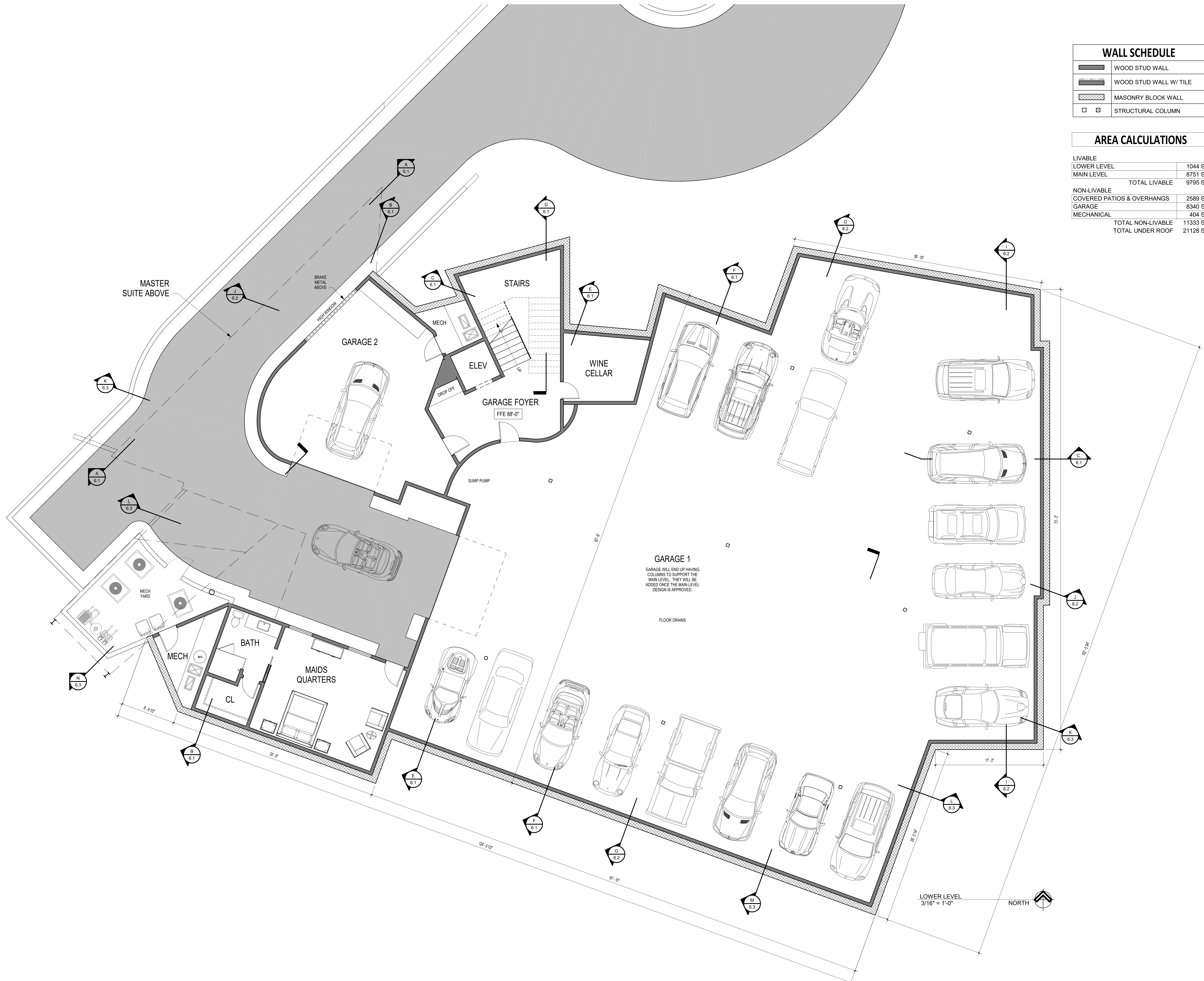
FLOOR PLAN - MAIN LEVEL

DATE 10/02/24  
DWN JEL  
CHK M.A.S.  
JOB# S23-1151

WALL SCHEDULE	
	WOOD STUD WALL
	WOOD STUD WALL W/ TILE
	MASONRY BLOCK WALL
	STRUCTURAL COLUMN

**AREA CALCULATIONS**

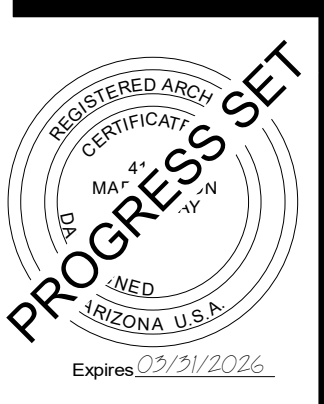
LIVABLE	
LOWER LEVEL	1044 SF
MAIN LEVEL	8751 SF
<b>TOTAL LIVABLE</b>	<b>9795 SF</b>
NON-LIVABLE	
COVERED PATIOS & OVERHANGS	2589 SF
GARAGE	8340 SF
MECHANICAL	404 SF
<b>TOTAL NON-LIVABLE</b>	<b>11333 SF</b>
<b>TOTAL UNDER ROOF</b>	<b>21128 SF</b>



**LOPEZ RESIDENCE**  
 3120 E CREST SHADOWS DRIVE  
 PIMA COUNTY, AZ

**SOLOWAY**  
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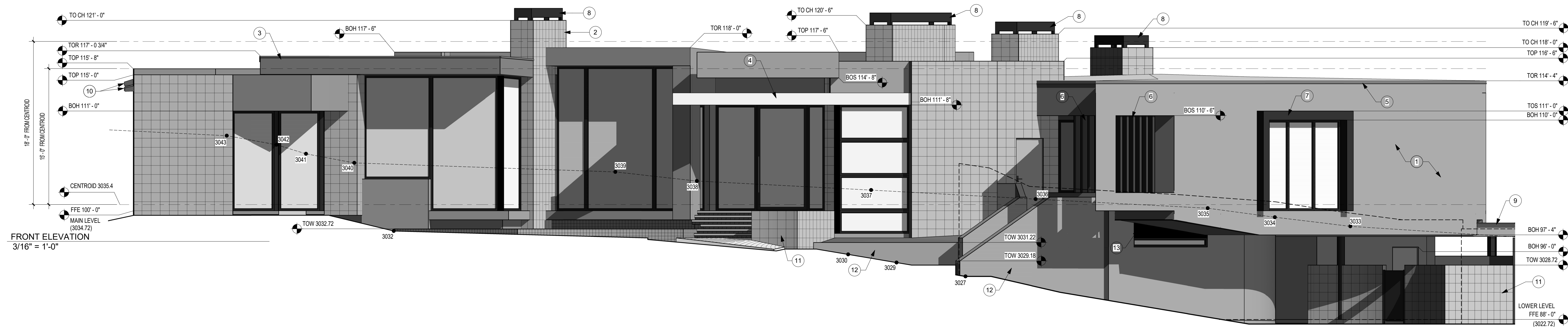


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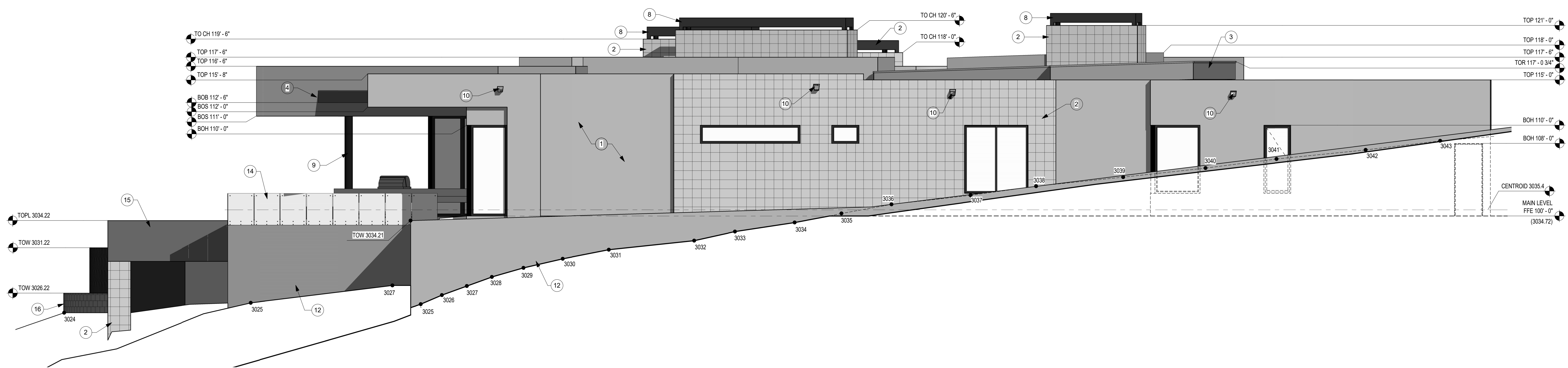
FLOOR PLAN - LOWER LEVEL

DATE 10/02/24  
 DWN JEL  
 CHK M.A.S.  
 JOB# S23-1151





FRONT ELEVATION  
3/16" = 1'-0"



LEFT SIDE ELEVATION  
3/16" = 1'-0"

KEYNOTES	
1	STUCCO SYSTEM PER CURRENT ICC REPORT. COLOR TO BE EARTH TONE, TYP. U.N.O.
2	PORCELAIN OR STONE TILE (COLOR A). WRAP INTO DOOR/WINDOW OPENINGS.
3	METAL FASCIA W/ DRIP EDGE. MATCH WINDOW FRAMES (COLOR 1).
4	EXPOSED STEEL BEAM(S). PAINTED FINISH (COLOR 2).
5	METAL DRIP EDGE. COLOR TO MATCH WINDOW FRAMES (COLOR 1).
6	DECORATIVE POSTS. PAINTED FINISH (COLOR 2).
7	METAL WINDOW SURROUND/EYEBROW TO MATCH WINDOW FRAMES.
8	METAL CHIMNEY CAP SCREEN. (SEE ROOF PLAN)
9	STRUCTURAL ELEMENTS SHALL BE PAINTED TO MATCH WINDOW FRAMES.
10	METAL SCUPPER, TYPICAL. (SEE ROOF PLAN)
11	SITE WALL W/ PORCELAIN OR STONE TILE FINISH (COLOR A). SEE SITE PLAN FOR EXACT HEIGHT & LOCATION.
12	EXPOSED CONCRETE SITE WALL.
13	WRAP WALL ABOVE WINDOWS W/ BREAK METAL TO BLEND IN WITH WINDOW SYSTEM
14	36" H GLASS RAILING.
15	2" THICK FLAT METAL RAISED PLANTER PAINTED TO MATCH WINDOW FRAMES.
16	POOL OVERFLOW TROUGH (COLOR B).

ELEVATION NOTES	
1.	EXTERIOR COLOR TO BE AN EARTH TONE.
2.	SEE SITE-GRADING PLAN FOR WALLS & STAIRS NOT INCLUDED IN THESE ELEVATIONS.
3.	FLAT ROOF TO HAVE A MINIMUM SLOPE OF 3/8" PER FOOT.
4.	ALL FIREPLACE CHIMNEYS SHALL EXTEND AT LEAST 2 FEET HIGHER THAN ANY PORTION OF A BUILDING WITHIN 10 FEET, BUT SHALL NOT BE LESS THAN 3 FEET ABOVE THE POINT WHERE THE CHIMNEY PASSES THROUGH THE ROOF. R1003.9
5.	STUCCO PER CURRENT ICC REPORT ON TYVEK HOME WRAP (OR EQUAL). PROVIDE WEEP SCREED PER DETAIL ON SHEET 8.1.
6.	PROVISIONS SHALL BE MADE FOR THE CONTROL & DRAINAGE OF ALL SURFACE WATER AROUND ALL BUILDINGS.
7.	DETAIL CALL-OUTS ARE NOT SHOWN AT EVERY INSTANCE OF OCCURRENCE. ALL DETAILS ARE CONSIDERED 'TYPICAL' FOR THE CONDITIONS AT WHICH THEY APPLY.
ALL BUILDING ELEVATION MARKS ARE MEASURED FROM THE FINISHED FLOOR ELEVATION (FFE) OF 100'-0". SEE SHEET 3.1 FOR FLOOR PLAN FFE'S.	

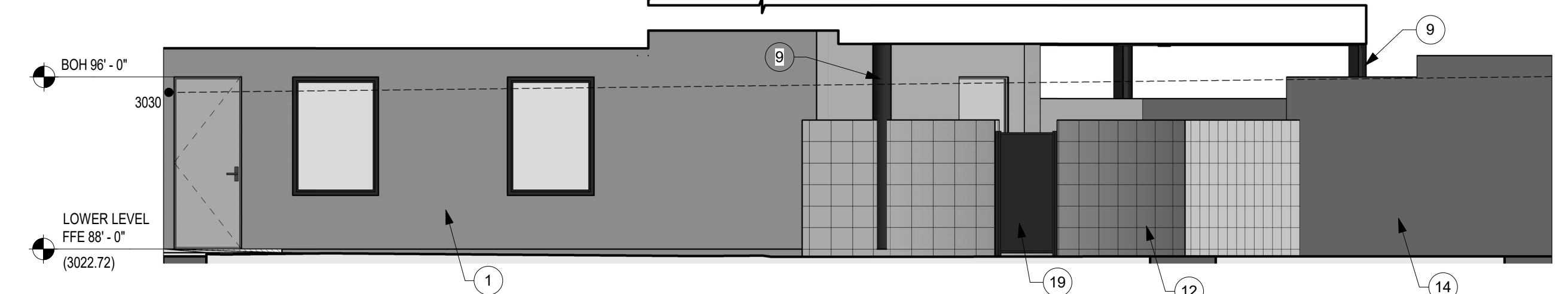
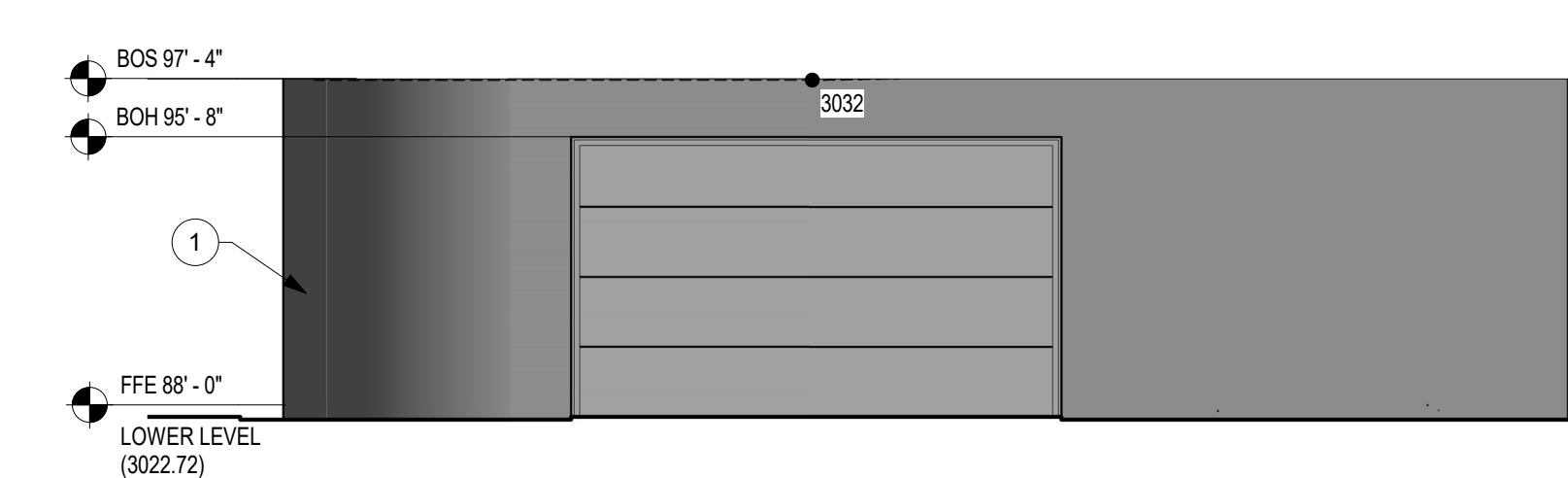
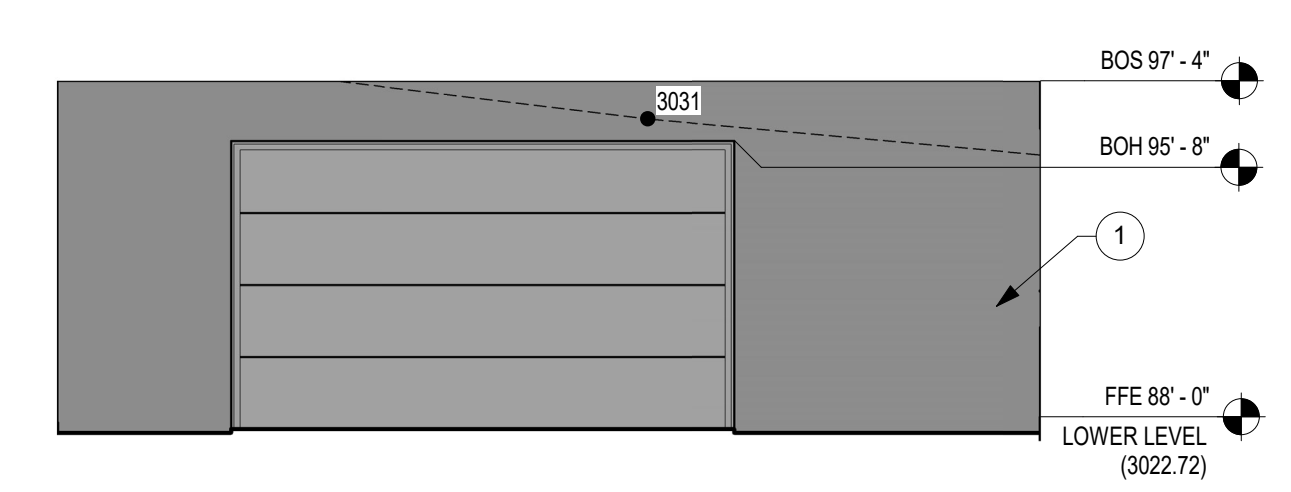
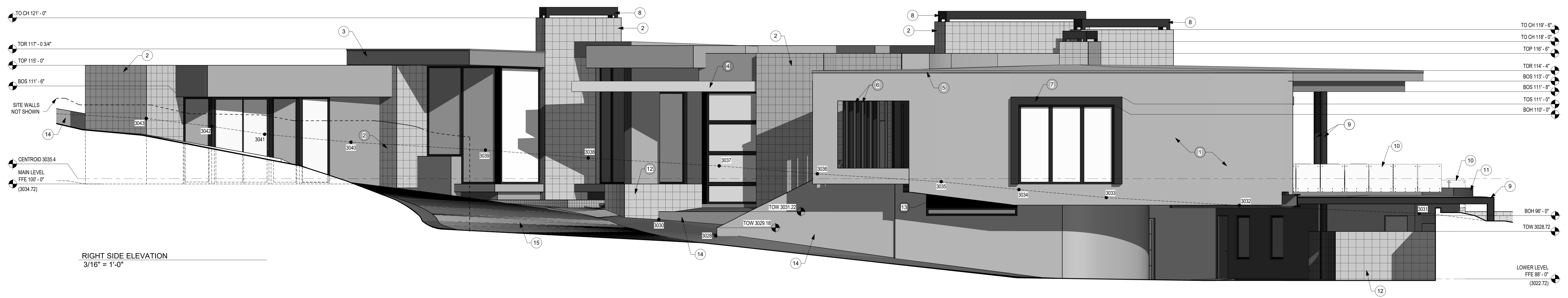
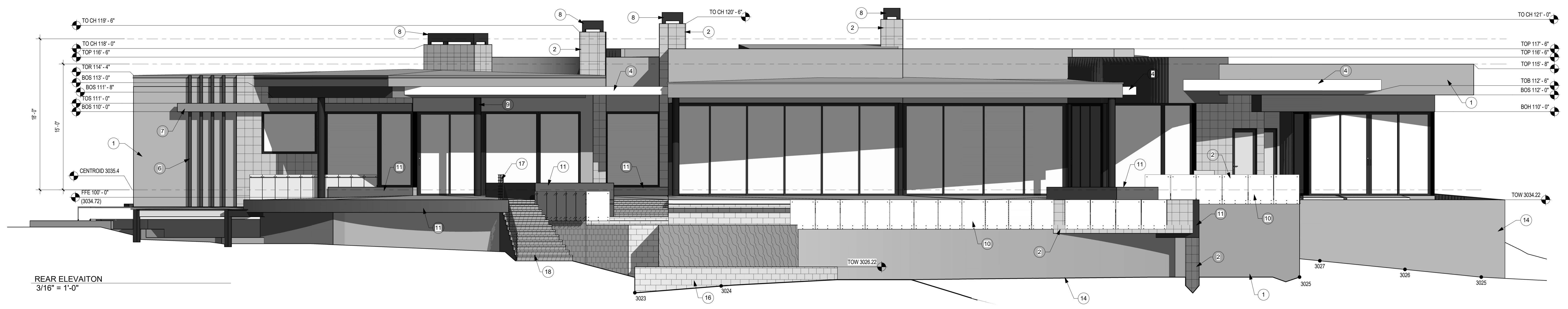
ABBREVIATION LIST	
TOP	TOP OF PARAPET
TOC	TOP OF COLUMN
TOS	TOP OF SOFFIT
TO CH	TOP OF CHIMNEY
TOW	TOP OF WALL
BOS	BOTTOM OF SOFFIT
BOB	BOTTOM OF BEAM
BOH	BOTTOM OF HEADER
FFE	FINISHED FLOOR ELEVATION / TOP OF SLAB

LEGEND	
	PROPOSED GRADE
	CENTROID
	NATURAL GRADE
ALL BUILDING ELEVATION MARKS ARE TAKEN FROM THE FINISHED FLOOR ELEVATION (FFE) OF 100'-0". SEE SHEET 3.1 FOR FLOOR PLAN FFE'S.	



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 ELEVATIONS (CONT.)

DATE 10/02/24  
 DWN JEL  
 CHK M.A.S.  
 JOB# S23-1151

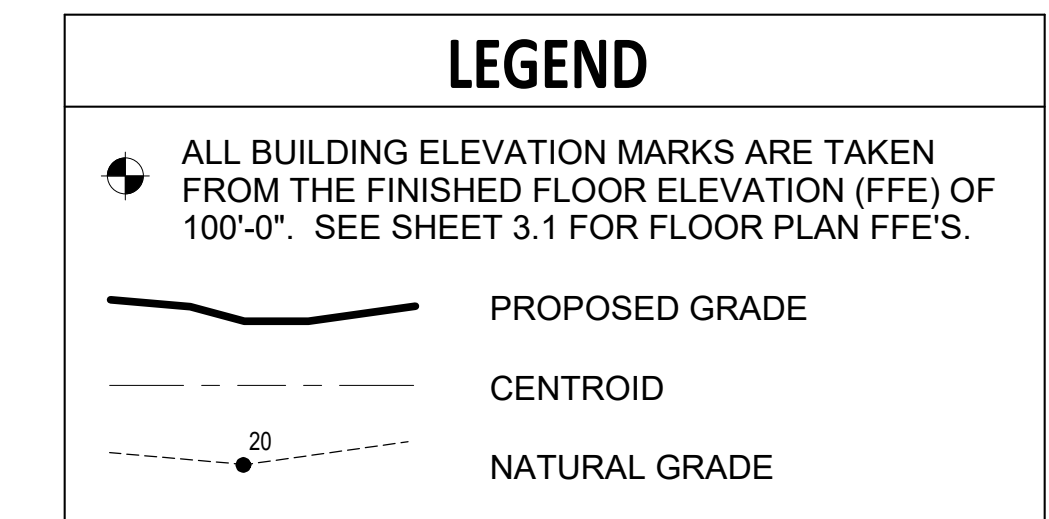


- KEYNOTES**
- STUCCO SYSTEM PER CURRENT ICC REPORT. COLOR TO BE EARTH TONE, TYP. U.N.O.
  - PORCELAIN OR STONE TILE (COLOR A). WRAP INTO DOOR/WINDOW OPENINGS.
  - METAL FASCIA W/ DRIP EDGE. MATCH WINDOW FRAMES (COLOR 1).
  - EXPOSED STEEL BEAM(S). PAINTED FINISH (COLOR 2).
  - METAL DRIP EDGE. COLOR TO MATCH WINDOW FRAMES (COLOR 1).
  - DECORATIVE POSTS. PAINTED FINISH (COLOR 2).
  - METAL WINDOW SURROUND/EYEBROW TO MATCH WINDOW FRAMES.
  - METAL CHIMNEY CAP SCREEN. (SEE ROOF PLAN)
  - STRUCTURAL ELEMENTS SHALL BE PAINTED TO MATCH WINDOW FRAMES.
  - 36"H GLASS RAILING.
  - 2" THICK FLAT METAL RAISED PLANTER PAINTED TO MATCH WINDOW FRAMES.
  - SITE WALL W/ PORCELAIN OR STONE TILE FINISH (COLOR A). SEE SITE PLAN FOR EXACT HEIGHT & LOCATION.
  - WRAP WALL ABOVE WINDOWS W/ BREAK METAL TO BLEND IN WITH WINDOW SYSTEM.
  - EXPOSED CONCRETE SITE WALL.
  - CONCRETE PAVER DRIVEWAY.
  - POOL OVERFLOW TROUGH (COLOR B).
  - 36"H METAL GUARDRAIL.
  - CONCRETE STAIRS W/ 1"x1" LIPS & DIFFERENT MATERIAL ON RISERS, TYPICAL.
  - WROUGHT IRON GATE WITH FLAT METAL SCREEN.

- ELEVATION NOTES**
- EXTERIOR COLOR TO BE AN EARTH TONE.
  - SEE SITE-GRADING PLAN FOR WALLS & STAIRS NOT INCLUDED IN THESE ELEVATIONS.
  - FLAT ROOF TO HAVE A MINIMUM SLOPE OF 3/8" PER FOOT.
  - ALL FIREPLACE CHIMNEYS SHALL EXTEND AT LEAST 2 FEET HIGHER THAN ANY PORTION OF A BUILDING WITHIN 10 FEET, BUT SHALL NOT BE LESS THAN 3 FEET ABOVE THE POINT WHERE THE CHIMNEY PASSES THROUGH THE ROOF. R1003.9
  - STUCCO PER CURRENT ICC REPORT ON TYVEK HOME WRAP (OR EQUAL). PROVIDE WEEP SCREED PER DETAIL ON SHEET 8.1.
  - PROVISIONS SHALL BE MADE FOR THE CONTROL & DRAINAGE OF ALL SURFACE WATER AROUND ALL BUILDINGS.
  - DETAIL CALL-OUTS ARE NOT SHOWN AT EVERY INSTANCE OF OCCURRENCE. ALL DETAILS ARE CONSIDERED 'TYPICAL' FOR THE CONDITIONS AT WHICH THEY APPLY.
- ALL BUILDING ELEVATION MARKS ARE MEASURED FROM THE FINISHED FLOOR ELEVATION (FFE) OF 100'-0". SEE SHEET 3.1 FOR FLOOR PLAN FFE'S.

**ABBREVIATION LIST**

TOP	TOP OF PARAPET
TOC	TOP OF COLUMN
TOS	TOP OF SOFFIT
TO CH	TOP OF CHIMNEY
TOW	TOP OF WALL
BOS	BOTTOM OF SOFFIT
BOB	BOTTOM OF BEAM
BOH	BOTTOM OF HEADER
FFE	FINISHED FLOOR ELEVATION / TOP OF SLAB



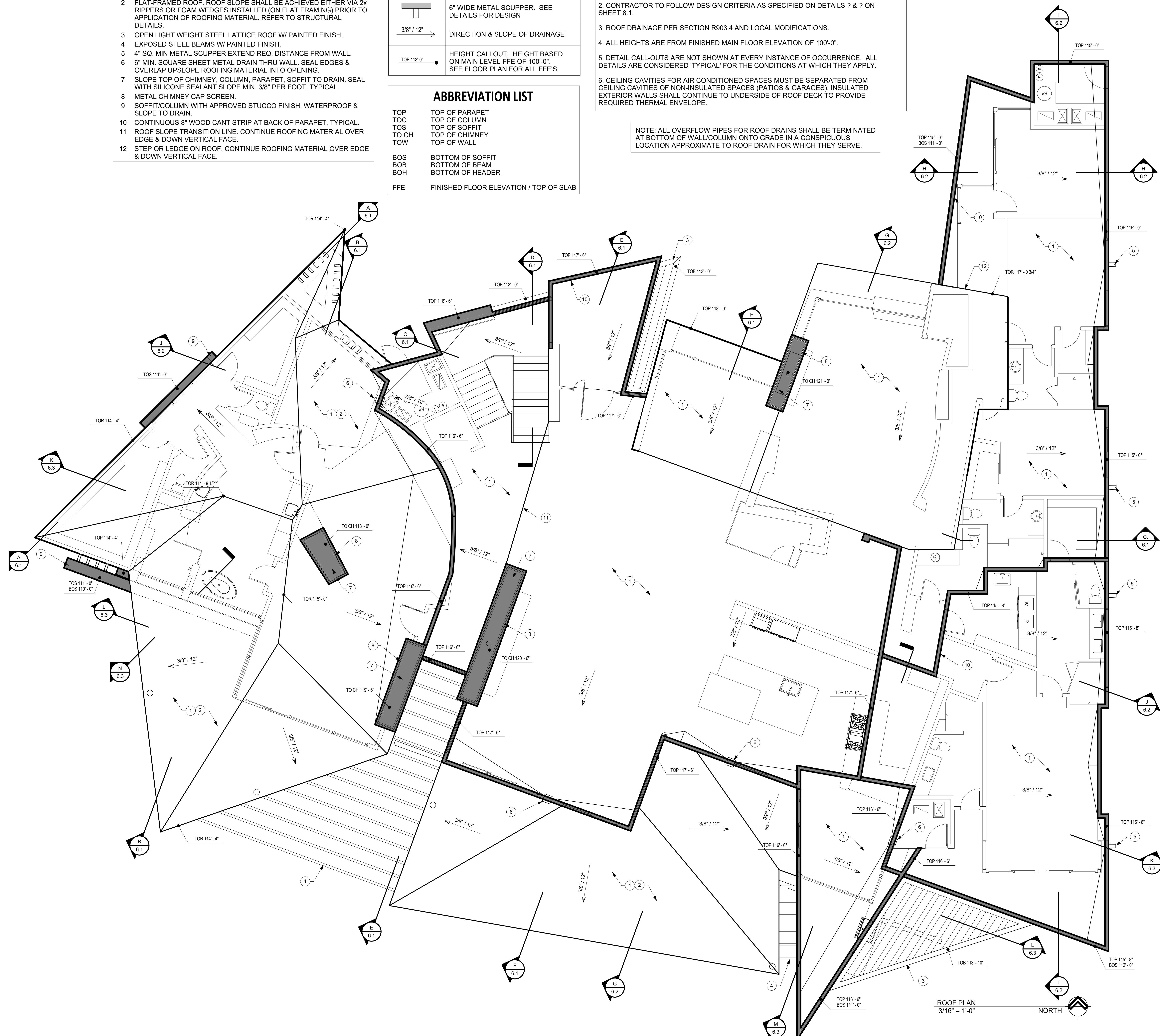
KEYNOTES	
1	3-PLY BUILT-UP ROOF SYSTEM W/ 2- COATS OF APPROVED ELASTOMERIC ROOF COATING OVER ROOF SHEATHING (COLOR OF COATING SHALL COMPLY W/ HOA DESIGN REQUIREMENTS).
2	FLAT-FRAMED ROOF. ROOF SLOPE SHALL BE ACHIEVED EITHER VIA 2x RIPPERS OR FOAM WEDGES INSTALLED (ON FLAT FRAMING) PRIOR TO APPLICATION OF ROOFING MATERIAL. REFER TO STRUCTURAL DETAILS.
3	OPEN LIGHT WEIGHT STEEL LATTICE ROOF W/ PAINTED FINISH.
4	EXPOSED STEEL BEAMS W/ PAINTED FINISH.
5	4" SQ. MIN METAL SCUPPER EXTEND REQ. DISTANCE FROM WALL.
6	6" MIN. SQUARE SHEET METAL DRAIN THRU WALL. SEAL EDGES & OVERLAP UPSLOPE ROOFING MATERIAL INTO OPENING.
7	SLOPE TOP OF CHIMNEY, COLUMN, PARAPET, SOFFIT TO DRAIN. SEAL WITH SILICONE SEALANT SLOPE MIN. 3/8" PER FOOT, TYPICAL.
8	METAL CHIMNEY CAP SCREEN.
9	SOFFIT/COLUMN WITH APPROVED STUCCO FINISH. WATERPROOF & SLOPE TO DRAIN.
10	CONTINUOUS 8" WOOD CANT STRIP AT BACK OF PARAPET, TYPICAL.
11	ROOF SLOPE TRANSITION LINE. CONTINUE ROOFING MATERIAL OVER EDGE & DOWN VERTICAL FACE.
12	STEP OR LEDGE ON ROOF. CONTINUE ROOFING MATERIAL OVER EDGE & DOWN VERTICAL FACE.

ROOF LEGEND	
	3" DIA. DRAIN THRU WALL OR COLUMN
	PLYWOOD CRICKET
	6" WIDE METAL SCUPPER. SEE DETAILS FOR DESIGN
	DIRECTION & SLOPE OF DRAINAGE
	HEIGHT CALLOUT. HEIGHT BASED ON MAIN LEVEL FFE OF 100'-0". SEE FLOOR PLAN FOR ALL FFE'S

ABBREVIATION LIST	
TOP	TOP OF PARAPET
TOC	TOP OF COLUMN
TOS	TOP OF SOFFIT
TO CH	TOP OF CHIMNEY
TOW	TOP OF WALL
BOS	BOTTOM OF SOFFIT
BOB	BOTTOM OF BEAM
BOH	BOTTOM OF HEADER
FFE	FINISHED FLOOR ELEVATION / TOP OF SLAB

ROOF PLAN NOTES	
ALL CONSTRUCTION PER 2018 IRC	
1.	ROOF UNVENTED PER 2018 IRC SECTION R806.5. NO VAPOR RETARDERS SHALL BE INSTALLED AT THE CEILING.
2.	CONTRACTOR TO FOLLOW DESIGN CRITERIA AS SPECIFIED ON DETAILS ? & ? ON SHEET 8.1.
3.	ROOF DRAINAGE PER SECTION R903.4 AND LOCAL MODIFICATIONS.
4.	ALL HEIGHTS ARE FROM FINISHED MAIN FLOOR ELEVATION OF 100'-0".
5.	DETAIL CALL-OUTS ARE NOT SHOWN AT EVERY INSTANCE OF OCCURRENCE. ALL DETAILS ARE CONSIDERED 'TYPICAL' FOR THE CONDITIONS AT WHICH THEY APPLY.
6.	CEILING CAVITIES FOR AIR CONDITIONED SPACES MUST BE SEPARATED FROM CEILING CAVITIES OF NON-INSULATED SPACES (PATIOS & GARAGES). INSULATED EXTERIOR WALLS SHALL CONTINUE TO UNDERSIDE OF ROOF DECK TO PROVIDE REQUIRED THERMAL ENVELOPE.

NOTE: ALL OVERFLOW PIPES FOR ROOF DRAINS SHALL BE TERMINATED AT BOTTOM OF WALL/COLUMN ONTO GRADE IN A CONSPICUOUS LOCATION APPROXIMATE TO ROOF DRAIN FOR WHICH THEY SERVE.



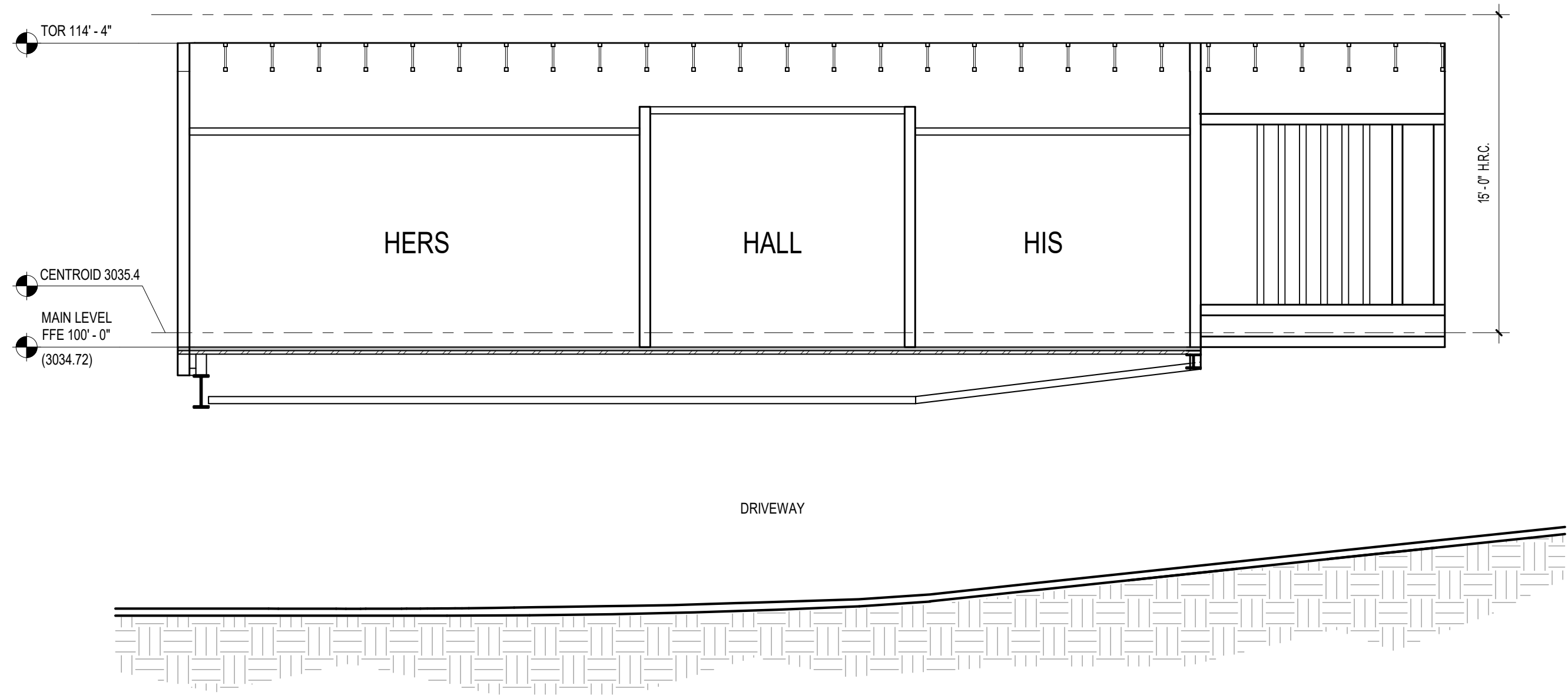
ROOF PLAN  
3/16" = 1'-0"



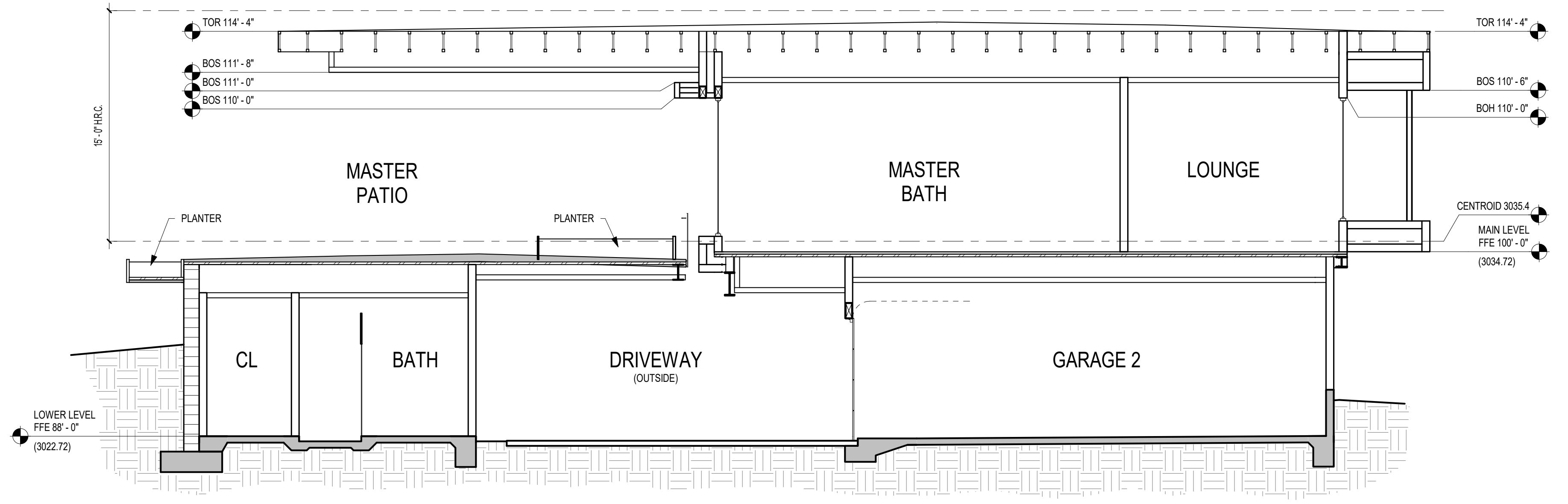
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ROOF PLAN

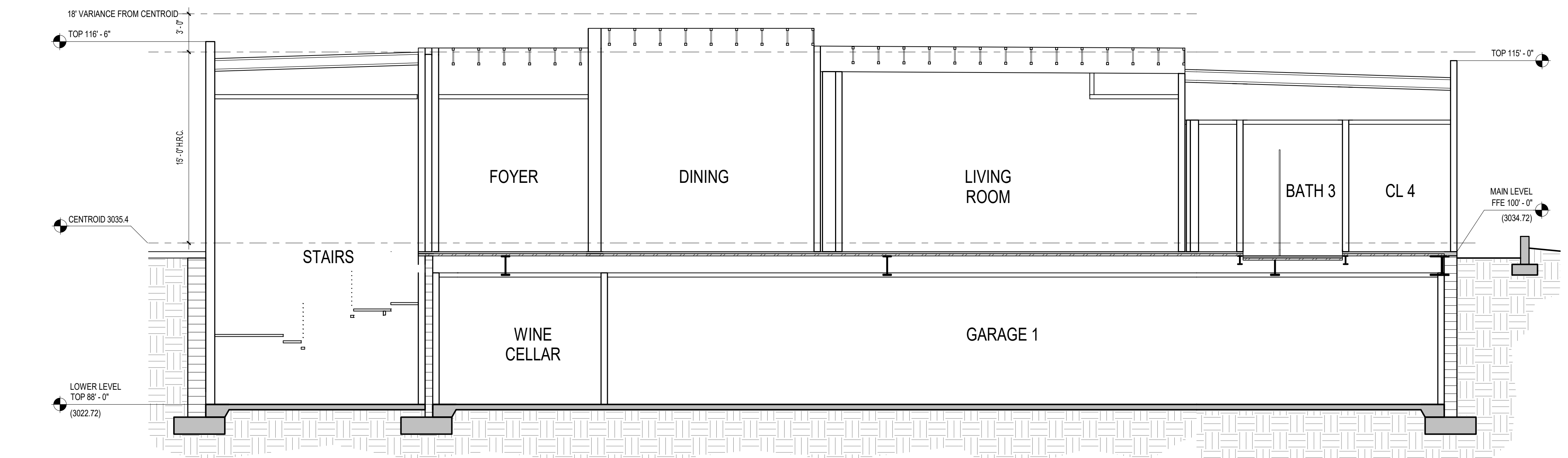
DATE	10/02/24
DWN	JEL
CHK	M.A.S.
JOB#	S23-1151



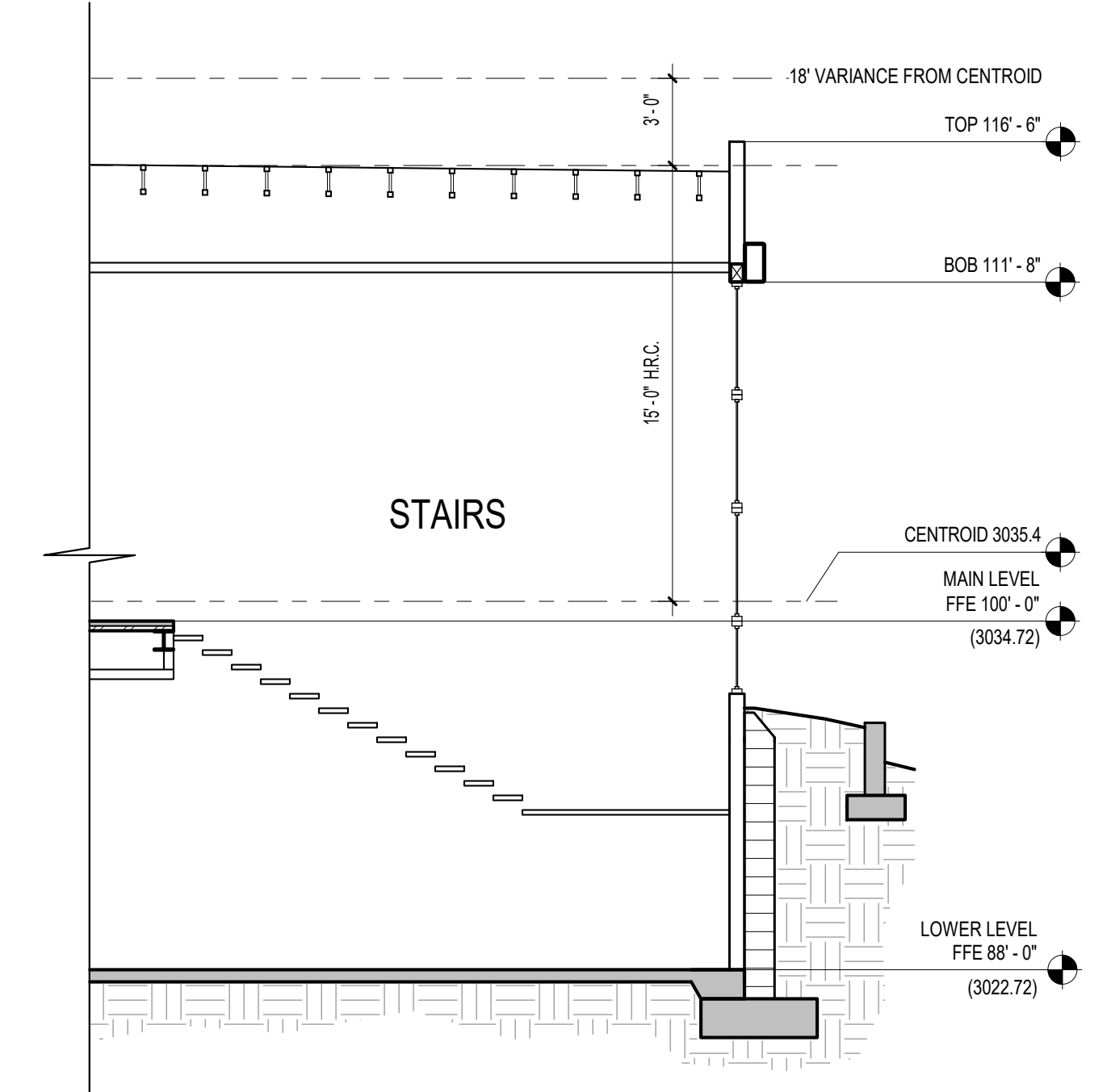
SECTION A  
3/16" = 1'-0"



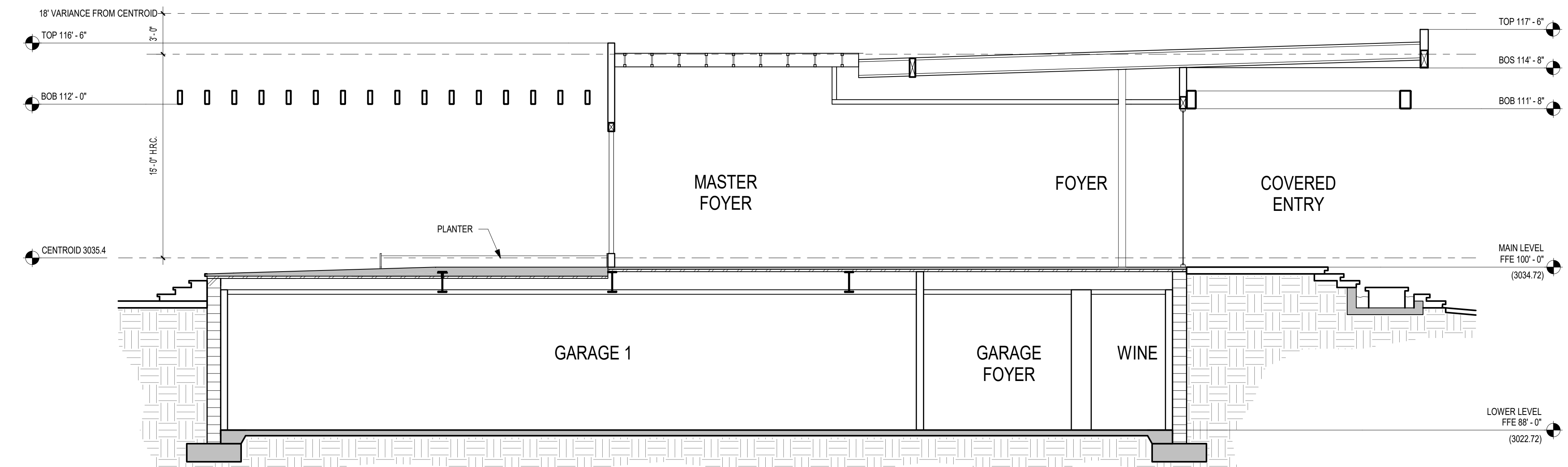
SECTION B  
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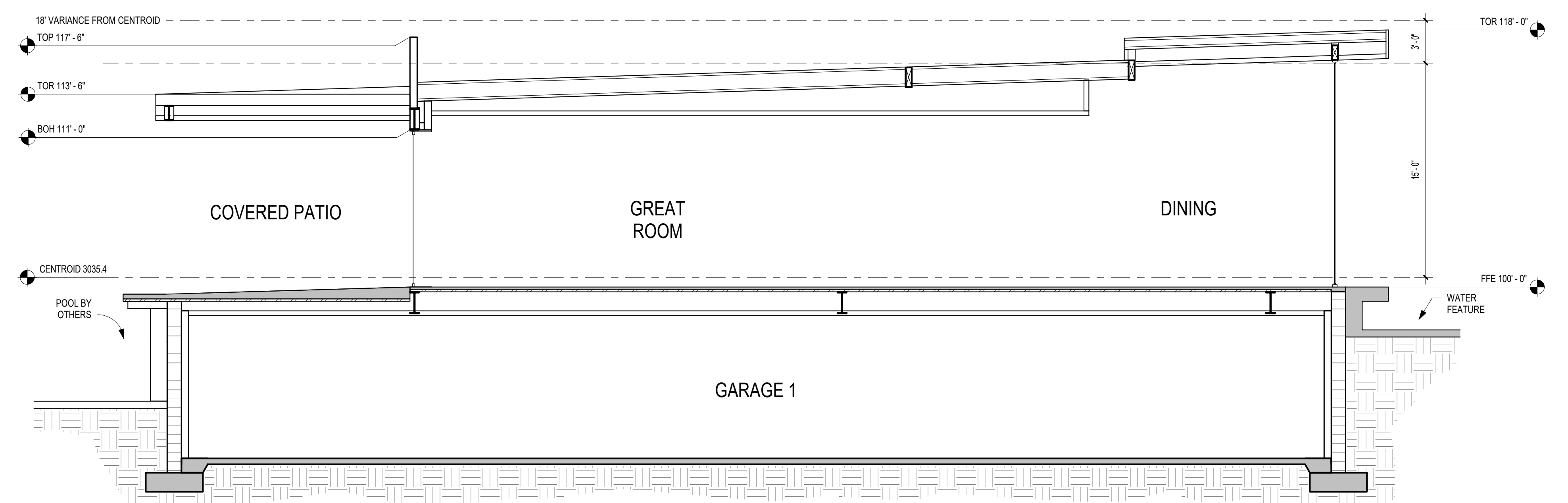
SECTION C  
3/16" = 1'-0"



SECTION D  
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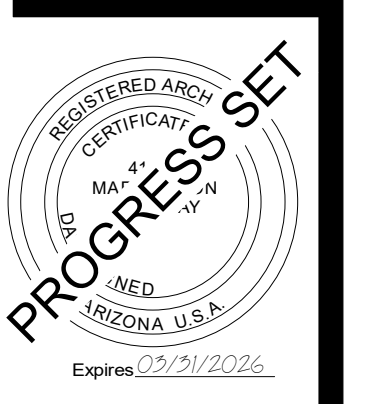


SECTION E  
3/16" = 1'-0"



SECTION F  
3/16" = 1'-0"

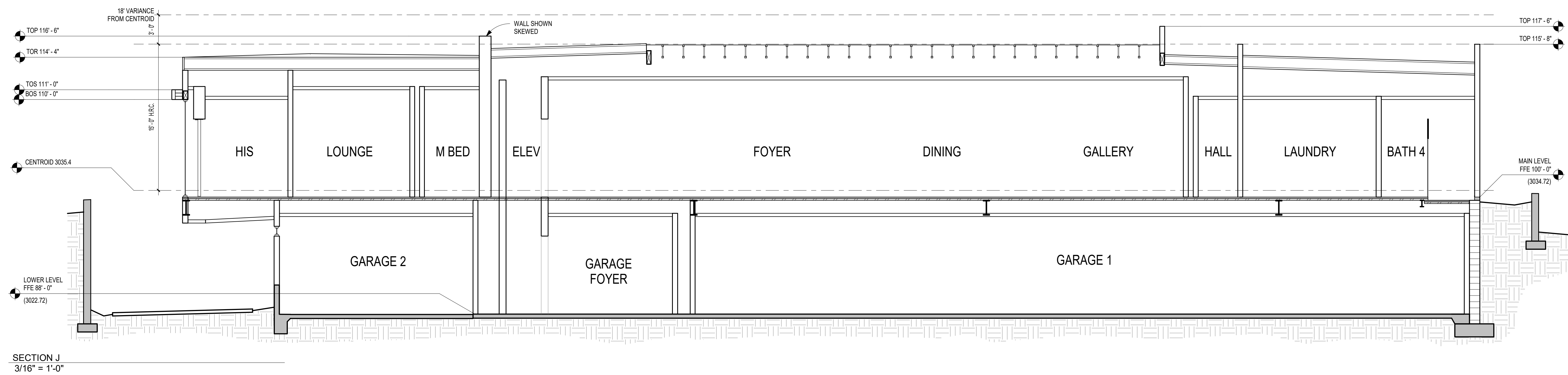
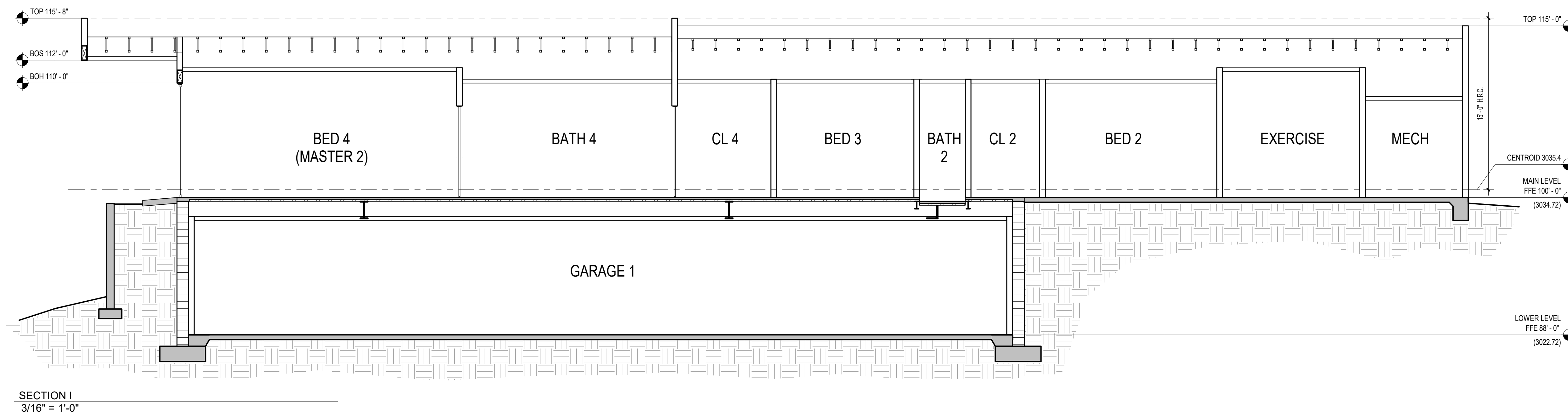
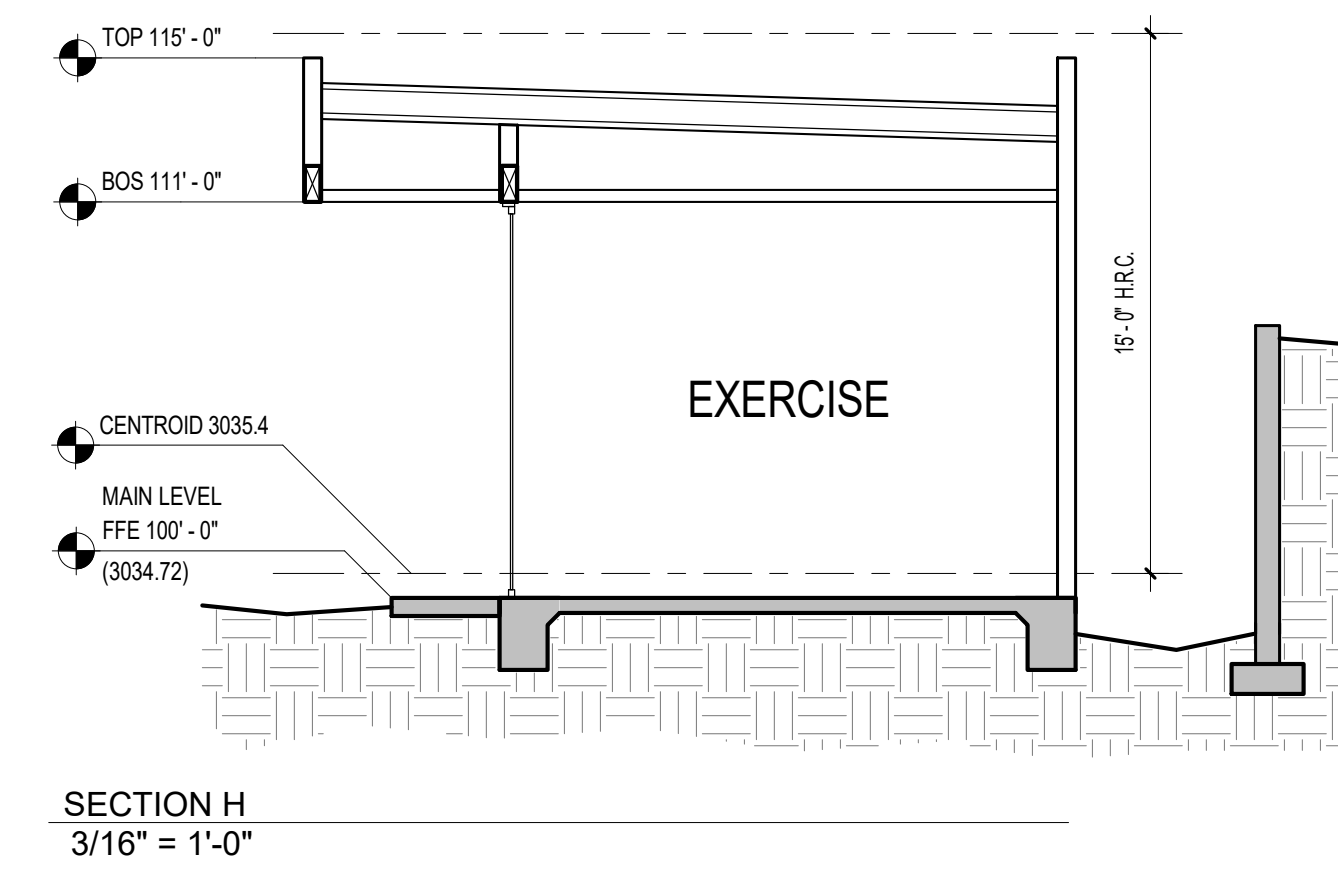
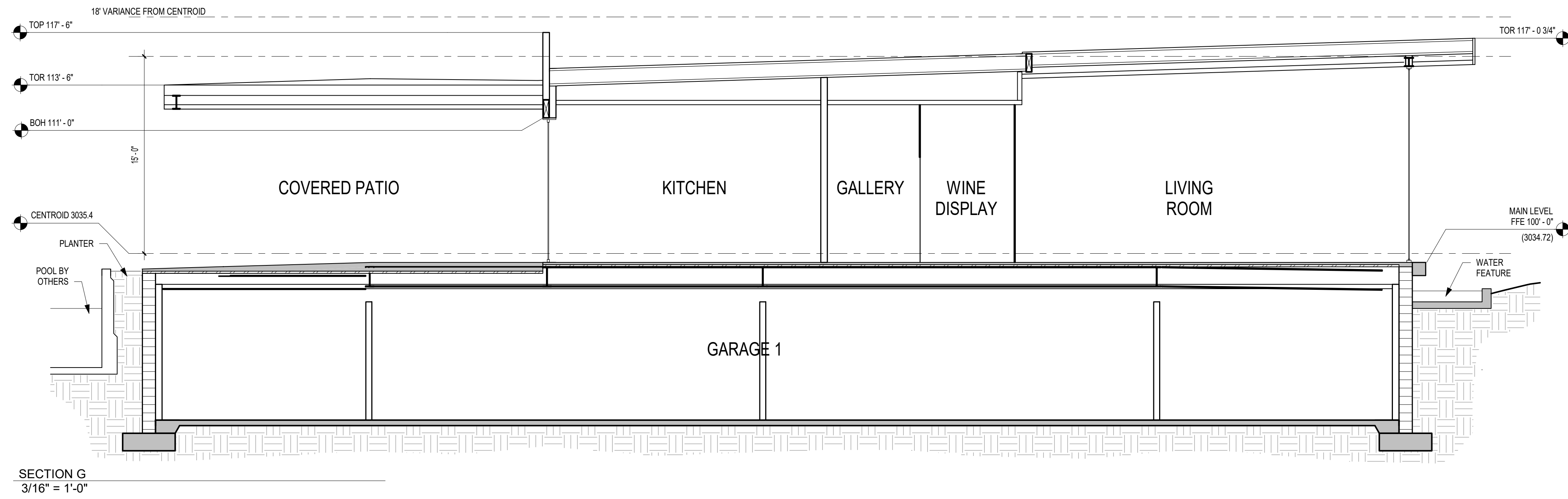
LEGEND	
	ALL BUILDING ELEVATION MARKS ARE TAKEN FROM THE FINISHED FLOOR ELEVATION (FFE) OF 100'-0". SEE SHEET 3.1 FOR FLOOR PLAN FFE'S.
	EXISTING GRADE W/ ELEVATION MARKS
	PROPOSED GRADE
	H.O.A. HEIGHT RESTRICTION FROM CENTROID



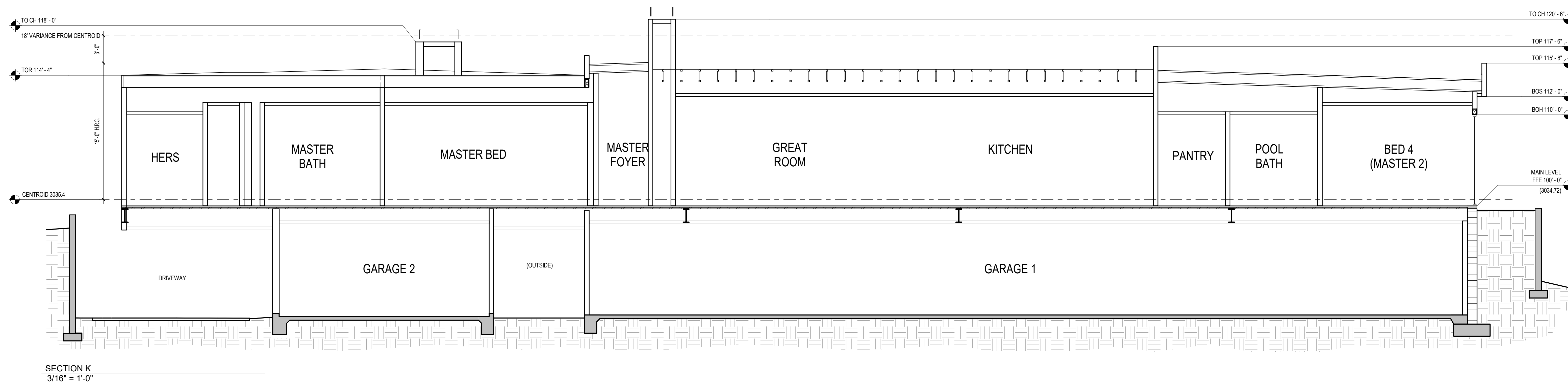
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SECTIONS (A thru F)

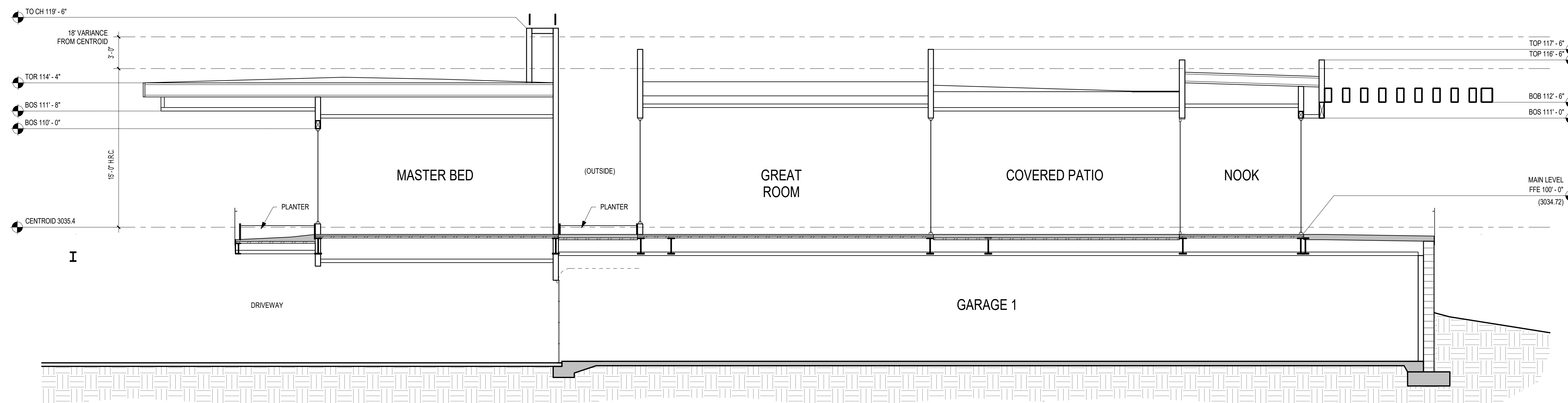
DATE 10/02/24  
DWN JEL  
CHK M.A.S.  
JOB# S23-1151



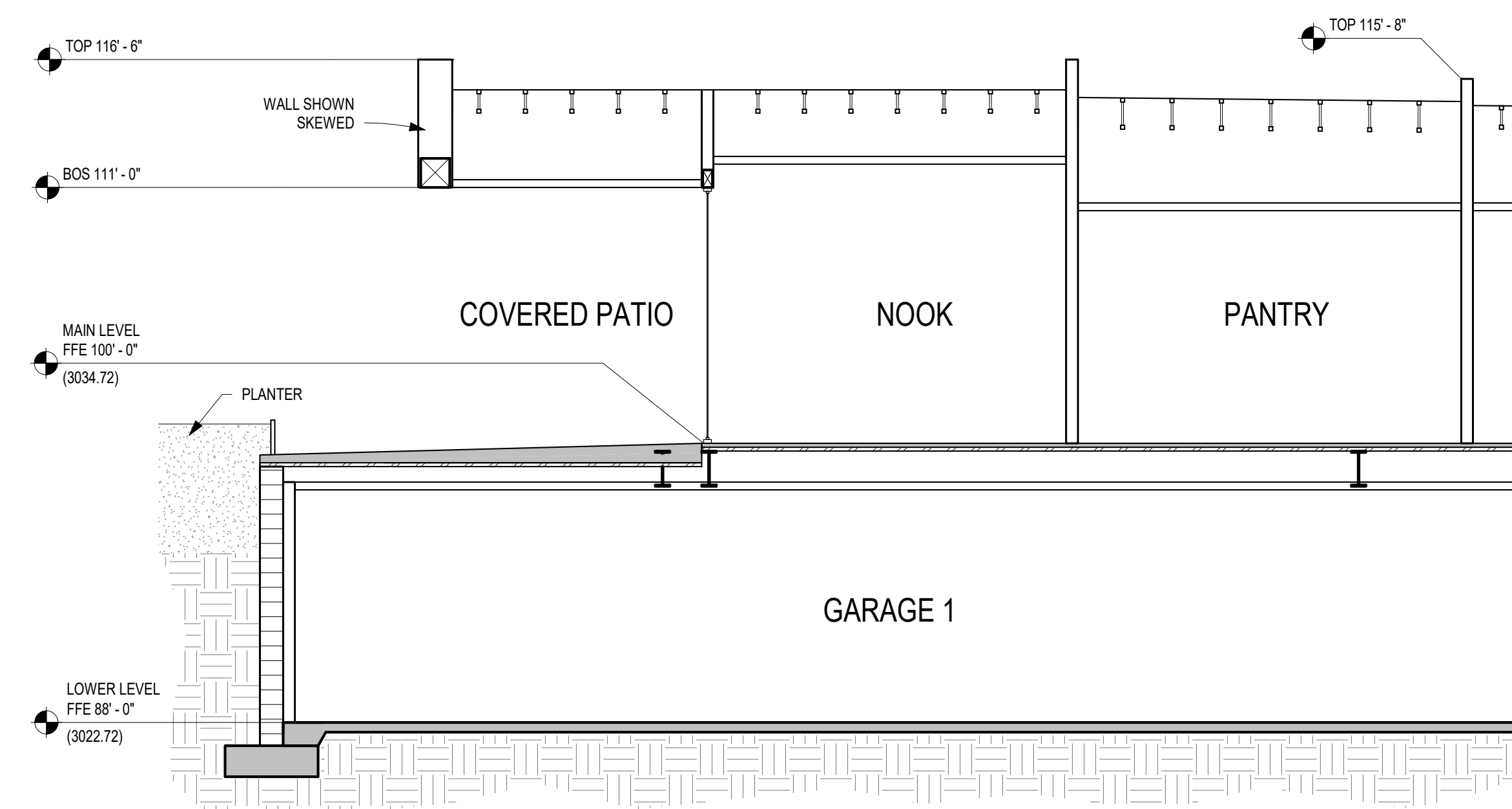
LEGEND	
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	EXISTING GRADE W/ ELEVATION MARKS
	PROPOSED GRADE
	H.R.C. HOA HEIGHT RESTRICTION FROM CENTROID



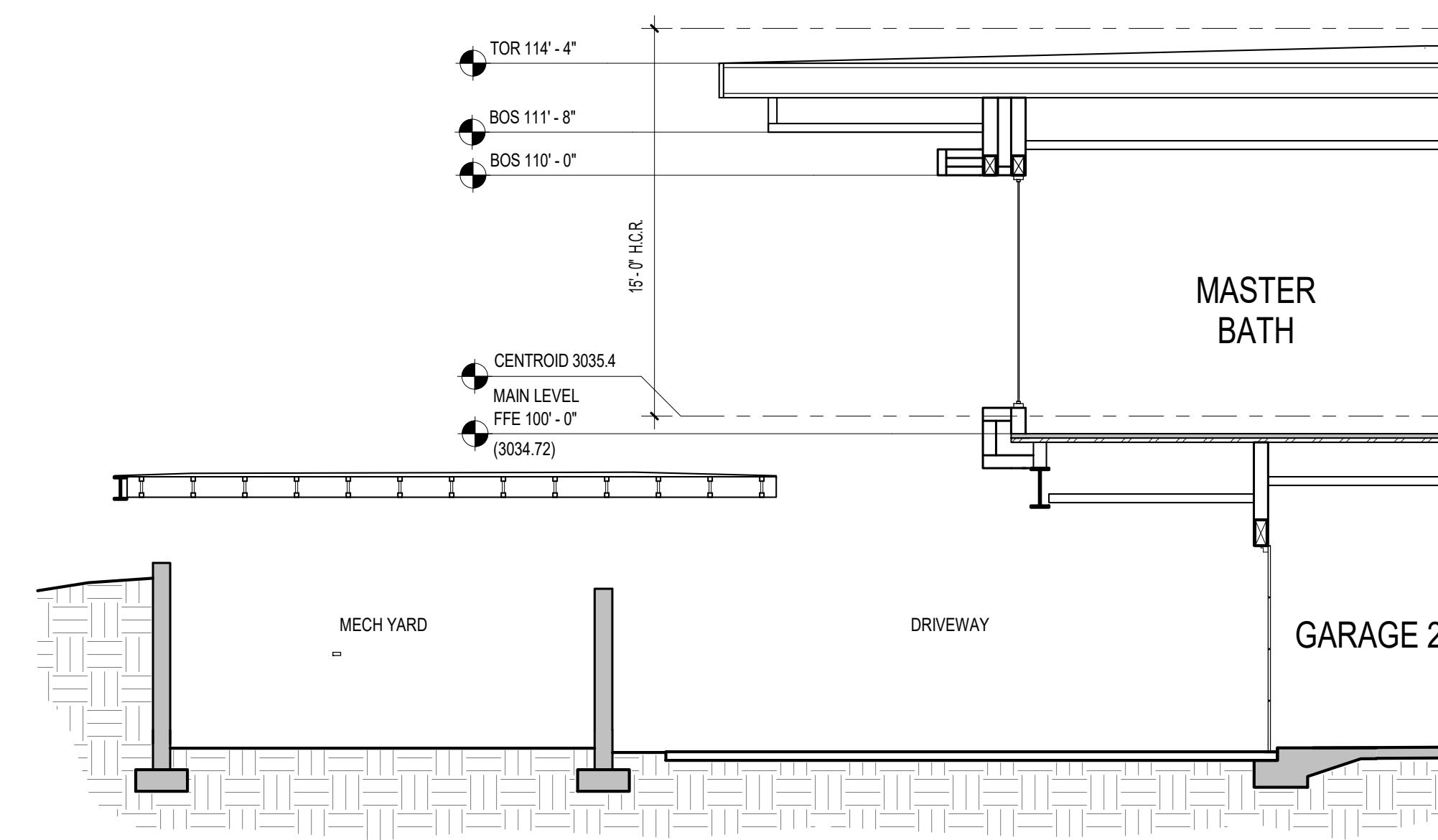
SECTION K  
3/16" = 1'-0"



SECTION L  
3/16" = 1'-0"



SECTION M  
3/16" = 1'-0"



SECTION N  
3/16" = 1'-0"

LEGEND	
	ALL BUILDING ELEVATION MARKS ARE TAKEN FROM THE FINISHED FLOOR ELEVATION (FFE) OF 100'-0". SEE SHEET 3.1 FOR FLOOR PLAN FFE'S.
	EXISTING GRADE W/ ELEVATION MARKS
	PROPOSED GRADE
	HOA HEIGHT RESTRICTION FROM CENTROID